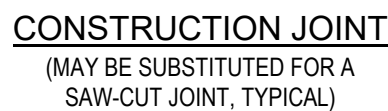




TYPICAL FRONT PORCH DEPTH SHOWN
G.C. VERIFY ACTUAL DEPTH PER
SPECIFIC DEVELOPMENT COMBINED
UNIT ELEVATION & FOUNDATION PLAN
UNDER SEPARATE COVER (TYP.) _____



(MAY BE SUBSTITUTED FOR
SAW-CUT JOINT, TYPICAL)



CLEAN JOINT WITH
HIGH-PRESSURE
WATER AND DRY
WITH COMPRESSED



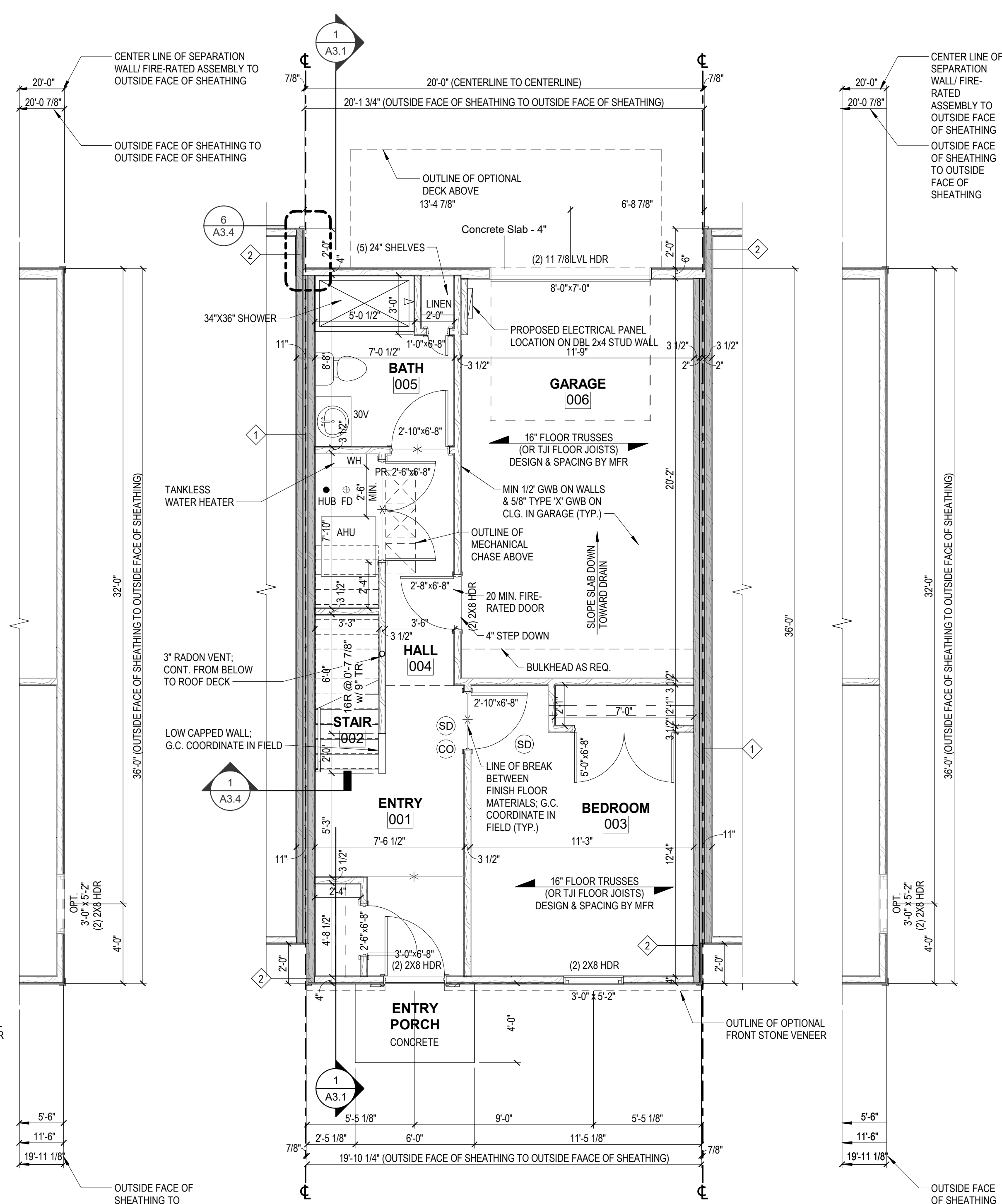
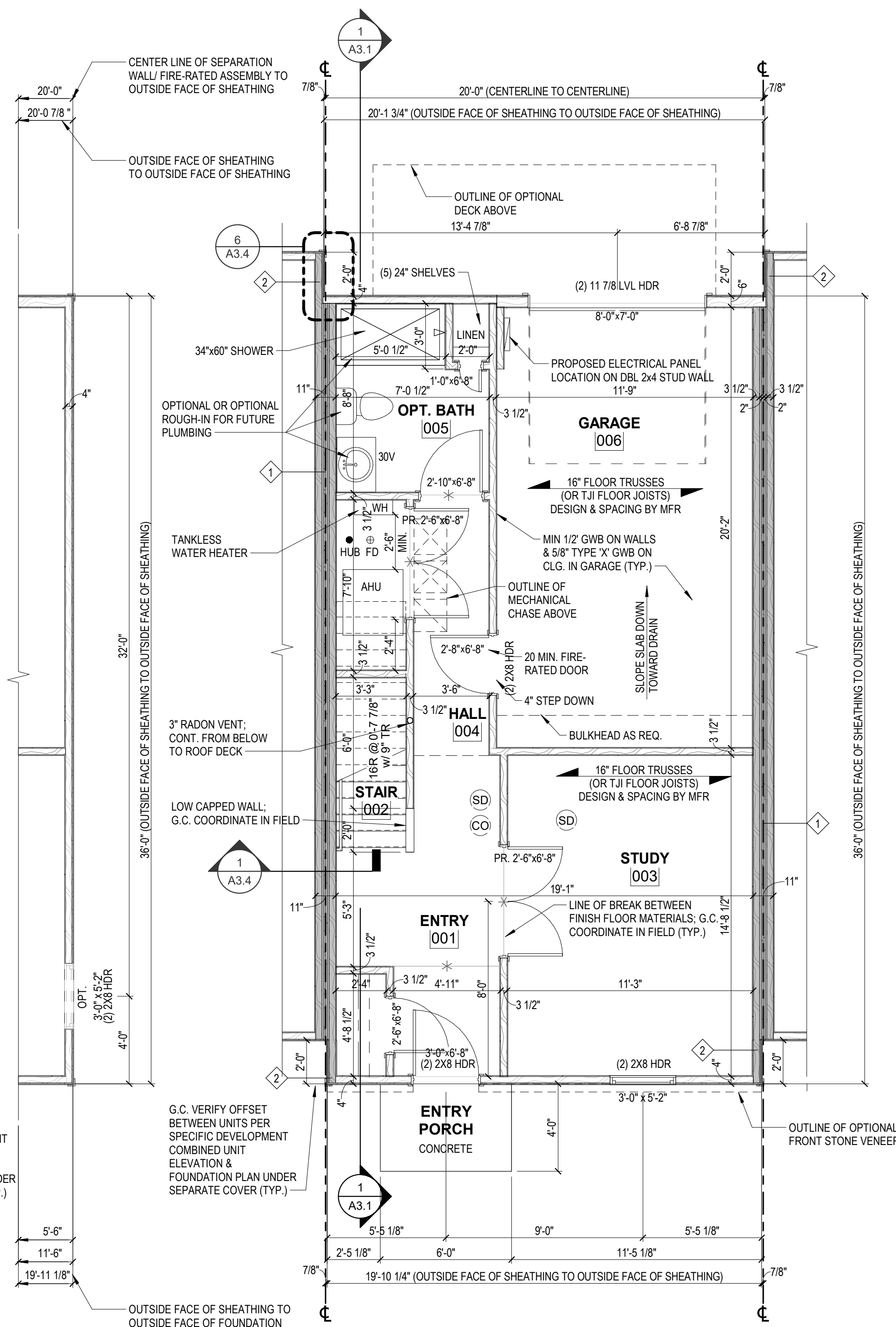
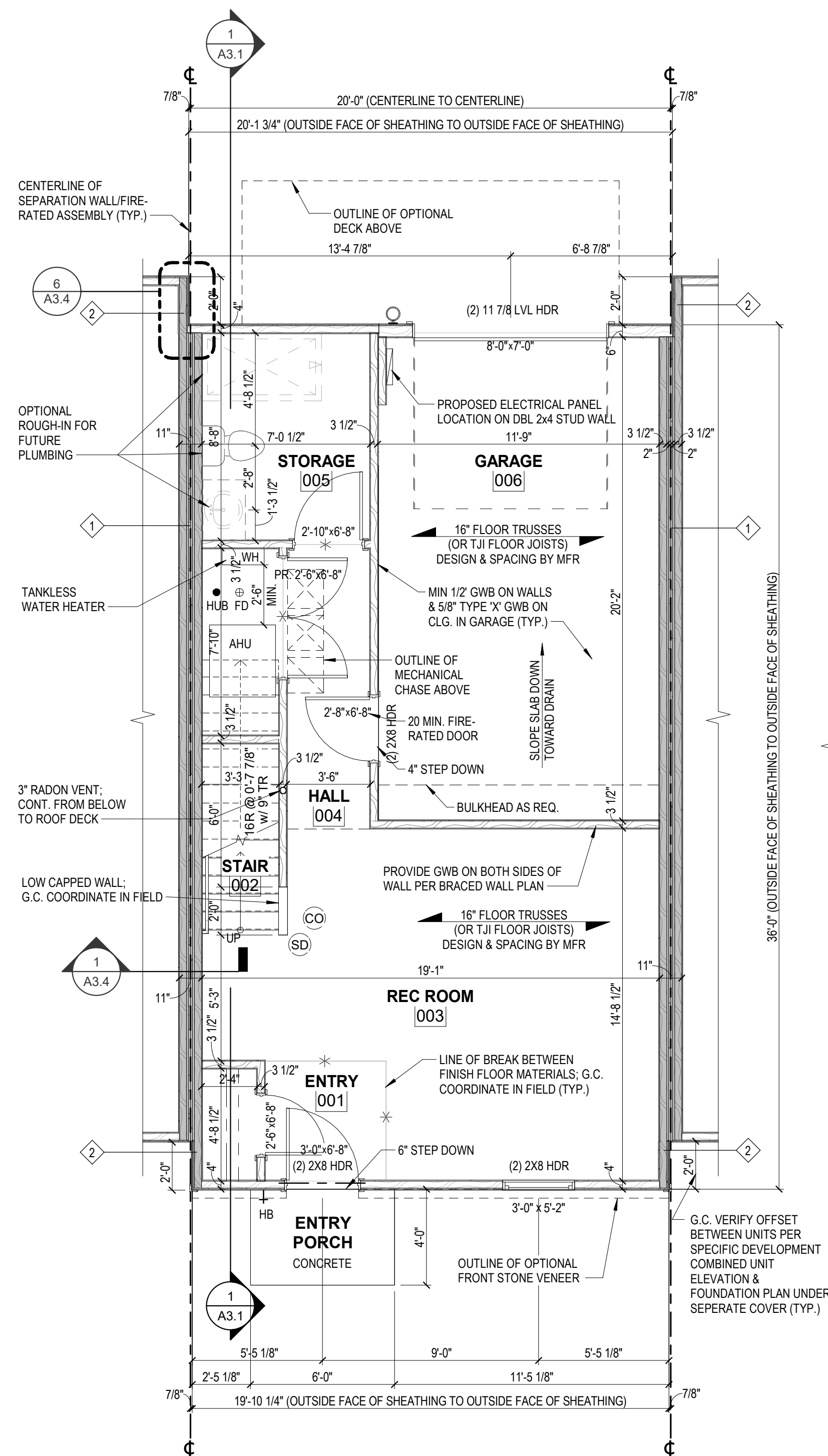
(PROVIDE CONTROL JOINTS AT
12'-0" ON CENTER MAXIMUM, TYPICAL)



FOOTING SCHEDULE					
MARK	SIZE		DEPTH	REINFORCEMENT	REMARKS
	WIDTH	LENGTH			
TS1.0	1'-0"	CONT.	0'-8"	(2) @4s CONT., #4 TRANSV. @48"	THICKENED SLAB
TS1.5	1'-6"	CONT.	0'-8"	(2) @4s CONT., #4 TRANSV. @48"	THICKENED SLAB
TS2.0	2'-0"	CONT.	0'-8"	(2) @4s CONT., #4 TRANSV. @48"	THICKENED SLAB
WF1.5	1'-6"	CONT.	0'-8"	(2) @4s CONT., #4 TRANSV. @48"	TYPICAL STRIP FOOTING
WF2.0	2'-0"	CONT.	0'-8"	(2) @4s CONT., #4 TRANSV. @48"	TYPICAL STRIP FOOTING

GENERAL SLAB NOTES

- 1 INTERIOR SLABS: 4" 3000 PSI CONC. SLAB W/ 6 X 6 W14 X W2.0 W.W.F. (OR FIBERMESH) OVER 6" MIN. POLY. OVER 4" MIN. CLEAN COMPACTED GRAVEL FILL (#57 OR SIM.).
- 2 EXTERIOR SLABS: 6" 3500 PSI CONC. SLAB W/ 6 X 6 W2.0 X W2.0 W.W.F. OVER 6" MIN. CLEAN COMPACTED GRAVEL FILL. SLOPE 1/8" PER 1'-0" AWAY FROM HOUSE.
- 3 GARAGE SLAB: 4" 3500 PSI CONC. SLAB W/ 6 X 6 W2.0 X W2.0 W.W.F. (OR FIBERMESH) OVER 6" MIN. POLY. OVER 4" MIN. CLEAN COMPACTED GRAVEL FILL. SLOPE 1/8" PER 1'-0" TOWARDS GARAGE DOORS.



NOTE:
1. SEE SHEET T1.2 FOR GENERAL PLAN, FRAMING, DOOR & WINDOW, CASEWORK, AND MEP NOTES.
2. SEE SEPARATE FOUNDATION PLANS AND ELEVATIONS FOR UNIT COMBINATION FOUNDATION AND BUILDING FOOTPRINT INFORMATION; G.C. COORDINATE IN FIELD.

FIRE-RATED WALL TYPES

- 1 ULR U336 WALL (2) HOURS CONT. TO UNDERSIDE OF ROOF DECKING
- 2 (1) HOUR RATED ASSEMBLY; SEE TYPICAL INTERSECTION DETAIL @ FIRE-RATED WALL ASSEMBLIES. PROVIDE FRT PLYWOOD AT SOFFIT ABOVE WALL (TYP)

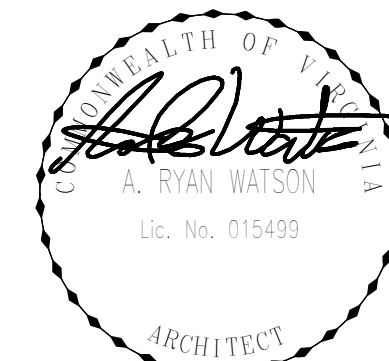


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WAVENLY - VER-6.1
3-STORY SLAB TOWNHOME
UNIT FLOOR PLANS

VIRGINIA

DRAWN BY **ARW**
DESIGNED BY **ARW**
CHECKED BY **ARW**
DATE **11/06/2022**
SCALE **1/4" = 1'-0"**
REVISIONS

A1.0

PROJECT NO 23180023.01



FIRE-RATED WALL TYPES

1	UL# U336 WALL (2) HOURS CONT. TO UNDERSIDE OF ROOF DECKING
2	(1) HOUR RATED ASSEMBLY; SEE TYPICAL INTERSECTION DETAIL @ FIRE-RATED WALL ASSEMBLIES, PROVIDE FRT PLYWOOD AT SOFFIT ABOVE WALL (TYP)



1
A1.2 $1/4" = 1'-0"$

ELEVATION 'A'
ELEVATION 'C' SIMILAR



1/4" = 1'-0"

ELEVATION 'E'
ELEVATION 'F' SIMILAR



1/4" = 1'-0"

ELEVATION 'B'
ELEVATION 'D' SIMILAR



NOT TO SCALE

1. SHINGLE ROOFING TO BE ARCHITECTURAL GRADE ASPHALT OR FIBERGLASS SHINGLES (FOR CONDITIONED NON-VENTED ATTIC OPTION PROVIDE SHINGLE WARRANTY FOR APPLICATION OVER CONDITIONED/NON-VENTED ATTIC) OVER NO. 15 ASPHALT ROOFING. COLOR TO BE SELECTED FROM MANUFACTURER'S STANDARD FULL RANGE (TYPICAL).
2. ALL ROOFING, UNDERLAYMENTS, ETC. REQUIREMENTS SHALL COMPLY WITH USBC SECTION 905.2 AND ALL SUBSEQUENT SECTIONS. MATERIAL INSTALLATIONS SHALL BE PER MANUFACTURER INSTRUCTIONS. (TYP)
3. GUTTERS TO BE "K" STYLE PREFINISHED SEAMLESS ALUMINUM WITH OVERSIZE DOWNSPOUTS AND HAVE POSITIVE DRAIN LEADERS OR CONNECT TO BELOW GRADE PIPING. GENERAL CONTRACTOR COORDINATE IN FIELD. SEE ROOF PLAN & ELEVATIONS FOR DOWNSPOUT LOCATIONS. (TYPICAL & B.D.)
4. INSTALL CONTINUOUS ICE AND WATER SHIELDING. EXTEND FROM EAVE FACE TO AT LEAST 2" INTO EXTERIOR WIDE LINE AND IN ALL ROOF VALLEYS 36" WIDE. PROVIDE AN ALUMINUM DRAIN WITH 1/2" X 1/2" X 0.037" AT ALL ROOF EDGES.
5. PROVIDE "CRICKETS" AROUND ALL MECHANICAL VENTS, AND SIMILAR CONDITIONS AS REQUIRED.

PROVIDE ATTIC VENTING PER VRC R806.2 EXCEPTION 2, 1/300 OF THE AREA VENTILATED WITH NO LESS THAN 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA LOCATED IN THE UPPER PORTION OF THE SPACE.

AREA VENTILATED: 720 SF = 103,680 SQ. INCHES NET FREE AREA
REQUIRED NET FREE VENTILATING AREA = 103,680/300 = 346 SQ. INCHES

<u>VENTING AREA TO BE PROVIDED ON EACH UNIT:</u>	
±24" OF SOFFIT @ 7.5 SQ. INCH N.F.A. PER LIN. FT.	= ±180 SQ. INCHES
±10" OF RIDGE @ 12.5 SQ. INCH N.F.A. PER LIN. FT.	= ±125 SQ. INCHES
(1) BOX VENT @ 50 SQ. INCH N.F.A. PER UNIT	= 50 SQ. INCHES
TOTAL VENTING PROVIDED	= ±355 SQ. INCHES

PROVIDE ATTIC VENTILATION THROUGH SOFFITS & RIDGE ROOF VENTS; REFER TO INSTALLATION INSTRUCTIONS TO ENSURE THE RIGHT AMOUNT OF INLET AREA VENTILATION IS INSTALLED AND THE ATTIC CEILING IS ADEQUATELY SEALED TO PREVENT PULLING AIR FROM THE CONDITIONED SPACE. ALL VENTS SHALL HAVE INSECT SCREENS.

VIRGINIA

AWN BY	ARW
SIGNED BY	ARW
CHECKED BY	ARW
TE	11/06/2022
ALE	As indicated
VISIONS	

PROJECT NO 23180023.01

TYPICAL ROOM FINISH SCHEDULE

NO.	ROOM NAME	FLOOR	BASE TRIM	WALL		CEILING		HEIGHT	REMARKS
202	OWNER BEDROOM	T.B.D.	YES	MTL	FINISH	MTL	FINISH	8'-0"	OPTIONAL VAULTED CEILING
203	OWNER BATH	T.B.D.	YES	GWB	PAINT	GWB	PAINT	8'-0"	
001	ENTRY	T.B.D.	YES	GWB	PAINT	GWB	PAINT	9'-0"	G.C. VERIFY CEILING PER MECHANICAL
002	STAIR	T.B.D.	YES	GWB	PAINT	GWB	PAINT	VARIES	
003	REC ROOM	T.B.D.	YES	GWB	PAINT	GWB	PAINT	9'-0"	
004	HALL	T.B.D.	YES	GWB	PAINT	GWB	PAINT	MIN. 7'-2"	
005	STORAGE	CONC	NO					9'-0"	
006	GARAGE	CONC	NO	GWB	PAINT	GWB	PAINT	VARIES	
101	STAIR	T.B.D.	YES	GWB	PAINT	GWB	PAINT	VARIES	
102	GREAT ROOM	T.B.D.	YES	GWB	PAINT	GWB	PAINT	9'-0"	
103	P.R.	T.B.D.	YES	GWB	PAINT	GWB	PAINT	9'-0"	
104	MORNING ROOM	T.B.D.	YES	GWB	PAINT	GWB	PAINT	9'-0"	
105	KITCHEN	T.B.D.	YES	GWB	PAINT	GWB	PAINT	9'-0"	
201	HALL	T.B.D.	YES	GWB	PAINT	GWB	PAINT	8'-0"	<varies>
202	OWNER BEDROOM	<varies>	<varies>	<varies>	<varies>	<varies>	<varies>	<varies>	
203	OWNER BATH	<varies>	<varies>	<varies>	<varies>	<varies>	<varies>	<varies>	
204	W.I.C.	<varies>	<varies>	<varies>	<varies>	<varies>	<varies>	<varies>	
205	BATH	T.B.D.	YES	GWB	PAINT	GWB	PAINT	8'-0"	
206	BEDROOM 2	T.B.D.	YES	GWB	PAINT	GWB	PAINT	8'-0"	OPTIONAL VAULTED CEILING
207	BEDROOM 1	T.B.D.	YES	GWB	PAINT	GWB	PAINT	8'-0"	
LOWER LEVEL OPTIONAL FINISH SCHEDULE 'A'									
NO.	ROOM NAME	FLOOR	BASE TRIM	WALL		CEILING		HEIGHT	REMARKS
001	ENTRY	T.B.D.	YES	GWB	PAINT	GWB	PAINT	9'-0"	G.C. VERIFY CEILING PER MECHANICAL
002	STAIR	T.B.D.	YES	GWB	PAINT	GWB	PAINT	VARIES	
003	STUDY	T.B.D.	YES	GWB	PAINT	GWB	PAINT	9'-0"	
004	HALL	T.B.D.	YES	GWB	PAINT	GWB	PAINT	MIN. 7'-2"	
005	OPT. BATH	T.B.D.	YES	GWB	PAINT	GWB	PAINT	9'-0"	
006	GARAGE	CONC	NO	GWB	PAINT	GWB	PAINT	VARIES	

LOWER LEVEL OPTIONAL FINISH SCHEDULE 'B'

NO.	ROOM NAME	FLOOR	BASE TRIM	WALL		CEILING			REMARKS
				MTL	FINISH	MTL	FINISH	HEIGHT	
001	ENTRY	T.B.D.	YES	GWB	PAINT	GWB	PAINT	9'-0"	G.C. VERIFY CEILING PER MECHANICAL
002	STAIR	T.B.D.	YES	GWB	PAINT	GWB	PAINT	VARIES	
003	BEDROOM	T.B.D.	YES	GWB	PAINT	GWB	PAINT	9'-0"	
004	HALL	T.B.D.	YES	GWB	PAINT	GWB	PAINT	MIN. 7'-2"	
005	BATH	T.B.D.	YES	GWB	PAINT	GWB	PAINT	9'-0"	
006	GARAGE	CONC	NO	GWB	PAINT	GWB	PAINT	VARIES	

DOUBLE OWNER BEDROOM OPTION FINISH SCHEDULE

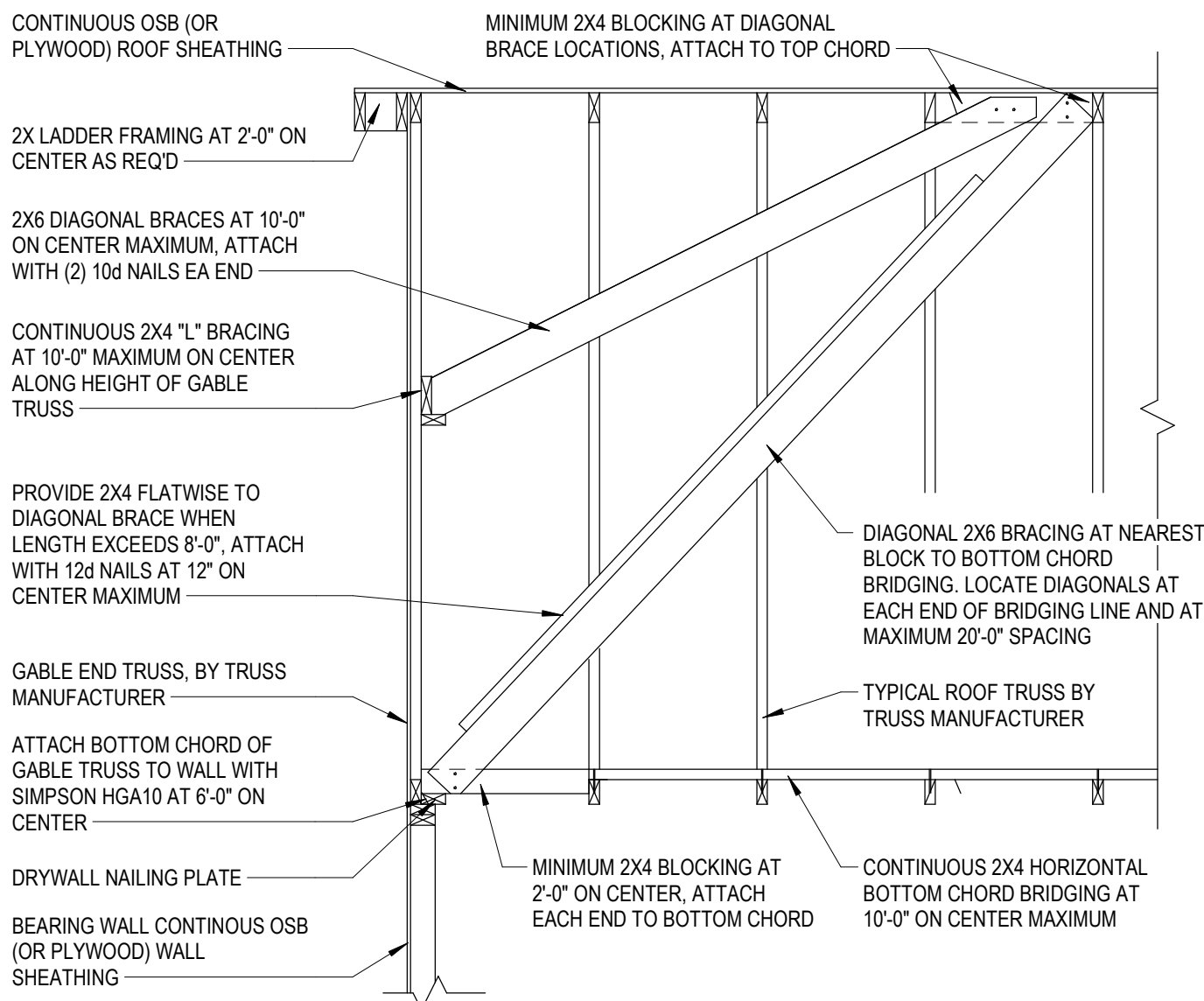
NO.	ROOM NAME	FLOOR	BASE TRIM	WALL		CEILING		HEIGHT	REMARKS
				MTL GWB	FINISH PAINT	MTL GWB	FINISH PAINT		
202	OWNER BEDROOM 1	T.B.D.	YES					8'-0"	OPTIONAL VAULTED CEILING
201	HALL	T.B.D.	YES	GWB	PAINT	GWB	PAINT	8'-0"	
203	OWNER BATH 1	T.B.D.	YES	GWB	PAINT	GWB	PAINT	8'-0"	
204	W.I.C.	T.B.D.	YES	GWB	PAINT	GWB	PAINT	8'-0"	
205	OWNER BATH 2	T.B.D.	YES	GWB	PAINT	GWB	PAINT	8'-0"	
206	OWNER BEDROOM 2	T.B.D.	YES	GWB	PAINT	GWB	PAINT	8'-0"	OPTIONAL VAULTED CEILING
207	W.I.C.	T.B.D.	YES	GWB	PAINT	GWB	PAINT	8'-0"	

GENERAL FINISH NOTES:

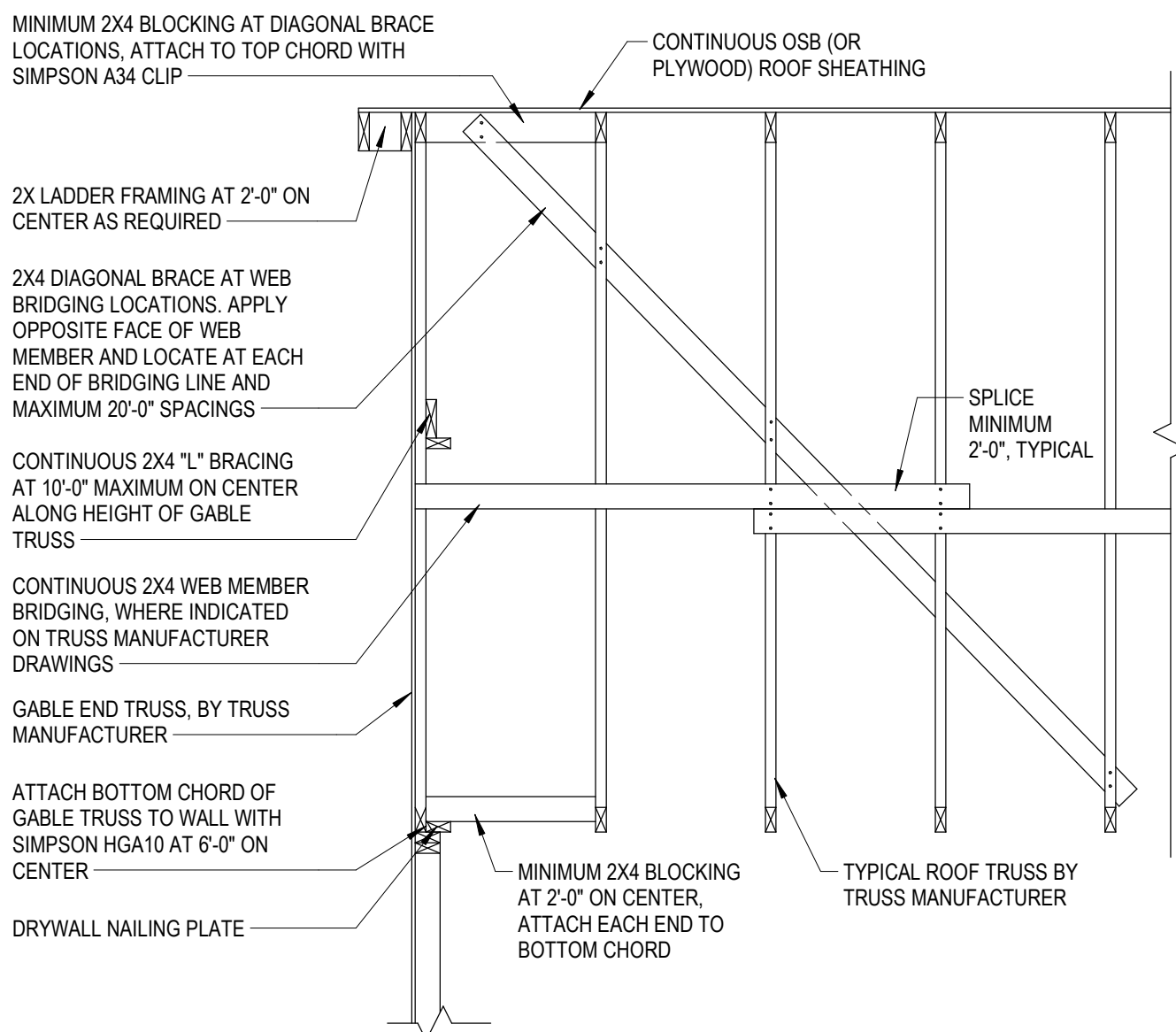
1. FINISHES SHOWN HEREIN ARE SCHEMATIC. GENERAL CONTRACTOR COORDINATE ALL REQUIRED FINISH COLORS/TEXTURES. COLOR SELECTIONS FROM MANUFACTURER'S FULL RANGE OF COLORS FOR ALL FINISHES SPECIFIED. ANY FINISH NOT SHOWN SHALL BE SELECTED BY THE GENERAL CONTRACTOR. GENERAL CONTRACTOR SHALL COORDINATE FINISHES IN FIELD.
2. ALL CLIMATE AND OPEN SPACES SHALL HAVE SAME FLOOR AND WALL FINISHES AS ROOMS THEY ARE LOCATED IN, UNLESS NOTED OTHERWISE.
3. IN ROOMS NOTED IN SCHEDULE PROVIDE BASE AROUND ROOM PERIMETER, AND WOOD CASING AROUND DOORS AND WINDOWS, UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO PROVIDE OWNER WITH SAMPLES OF PROPOSED WOOD TRIM PRIOR TO CONSTRUCTION.

ABBREVIATIONS

CPT = CARPET
HWD = HARDWOOD
GWB = GYPSUM WALL BOARD
CONC = CONCRETE
TBD = TO BE DETERMINED; G.C. COORDINATE



TYPICAL GABLE ROOF BOTTOM CHORD BRIDGING TRUSS BRACING DETAIL



TYPICAL GABLE ROOF WEB MEMBER BRIDGING TRUSS BRACING DETAIL

GENERAL NOTES

1. PROVIDE WOOD 2X STUD SECTIONS AS PERMANENT TRUSS BRACING SECTIONS. AS A MINIMUM, TRUSS BOTTOM CHORDS SHALL BE BRACED WITH LATERAL BRACES LOCATED AT 10'-0" ON CENTER MAXIMUM, EXCEPT BRACING IS NOT REQUIRED IN AT-TIC ACCESS AREAS SHEATHED WITH PLYWOOD. A LINE OF DIAGONAL BOTTOM CHORD BRACES SHALL BE LOCATED AT 30'-0" ON CENTER MAXIMUM, BUT SHALL BE LOCATED OUTSIDE OF ACCESS WAYS. W/ MEMBER BRACES SHALL BE LOCATED AS REQUIRED BY THE TRUSS MANUFACTURER. PROVIDE DIAGRAM BRACES FOR REQUIRED W/ MEMBER BRACES EVERY 10'-0" ON CENTER MAXIMUM. SEE TRUSS DRAWINGS FOR TRUSS MANUFACTURER FOR FURTHER GUIDANCE REGARDING TEMPORARY TRUSS BRACING.
2. UNLESS NOTED OTHERWISE, ALL ATTACHMENTS OF 2X BRACING AND/OR BRIDGING TO TRUSS MEMBERS ARE TO BE MADE WITH MINIMUM TWO (2) 16d NAILS.

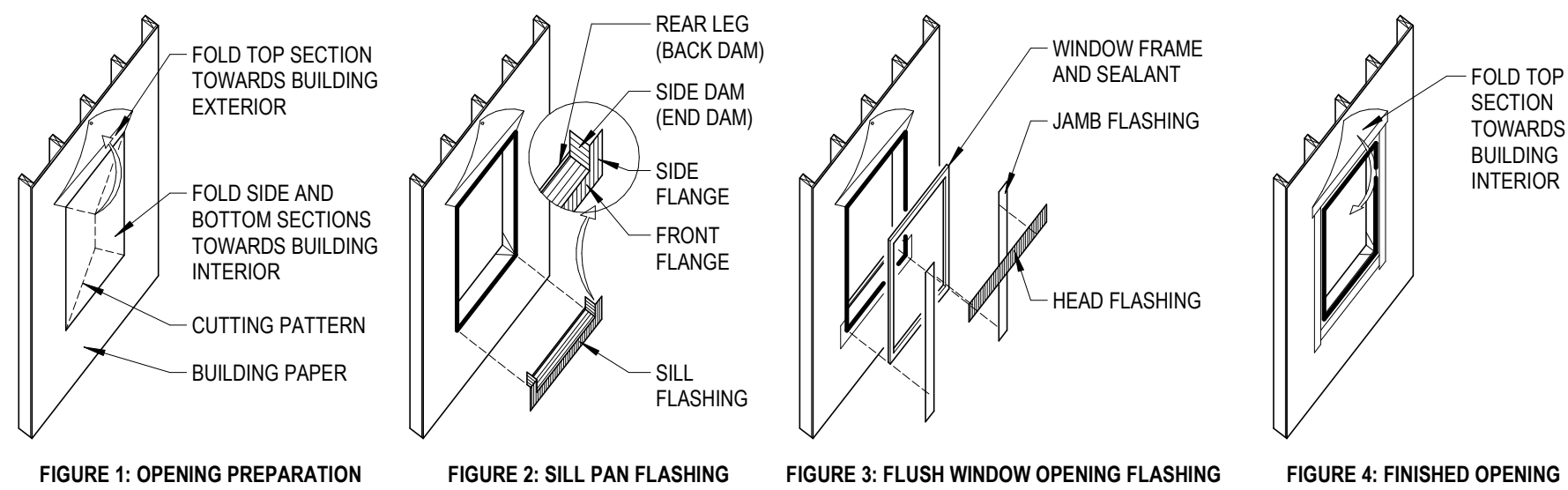


FIGURE 1: OPENING PREPARATION

FIGURE 2: SILL PAN FLASHING

FIGURE 3: FLUSH WINDOW OPENING FLASHING

FIGURE 4: FINISHED OPENING



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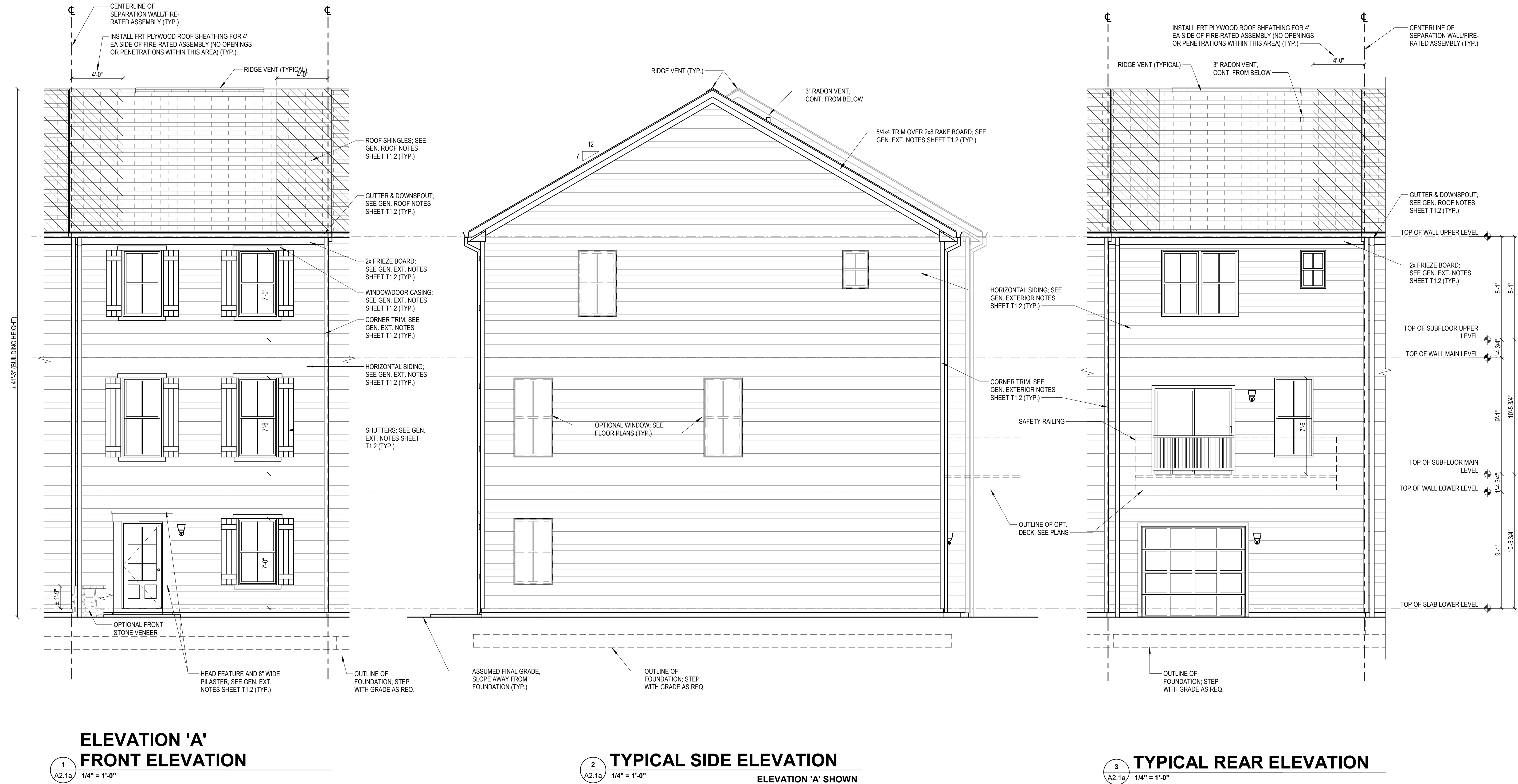
3-STORY SLAB TOWNHOME

ELEVATION 'A' & TYPICAL ELEVATIONS

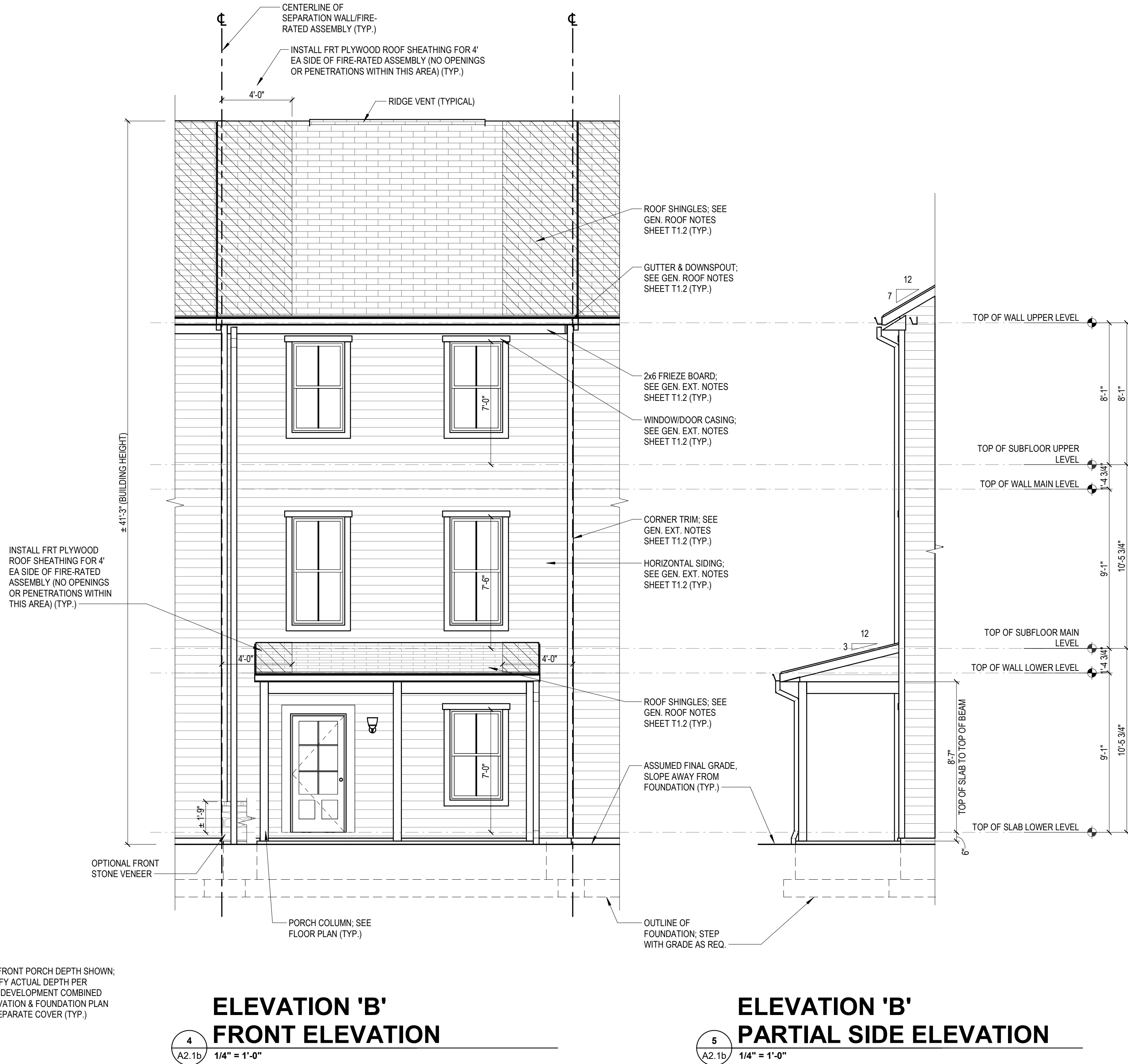
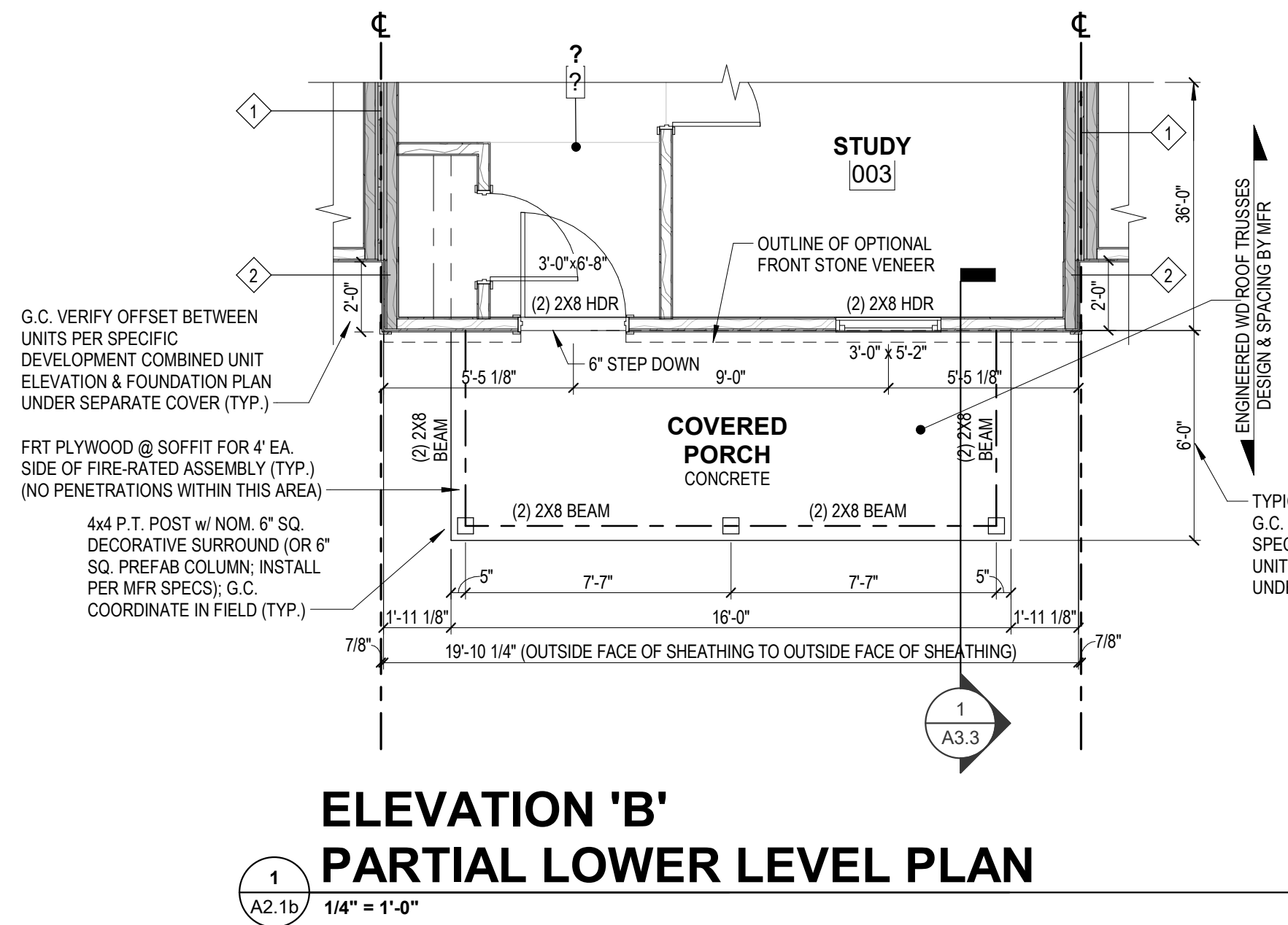
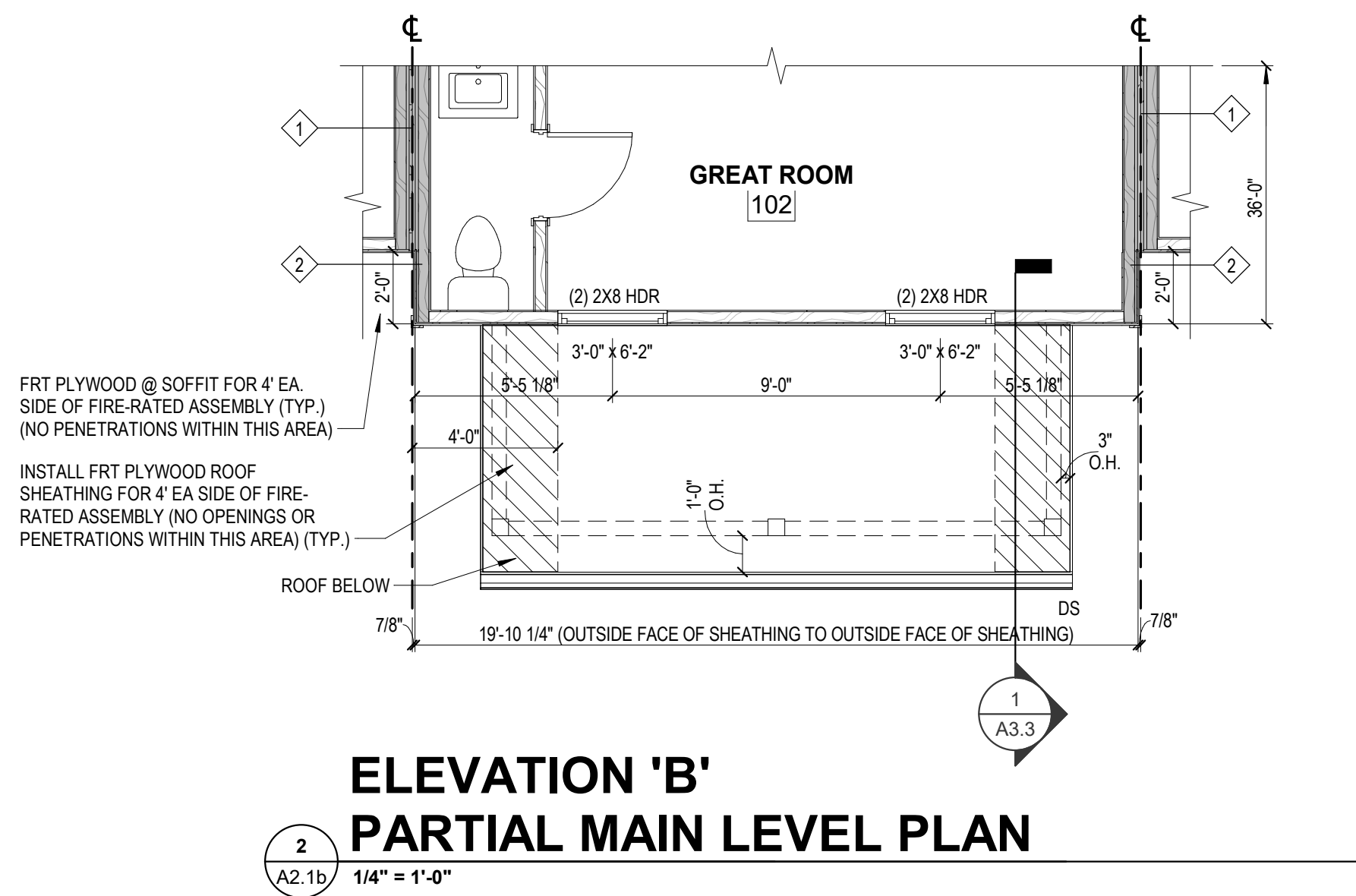
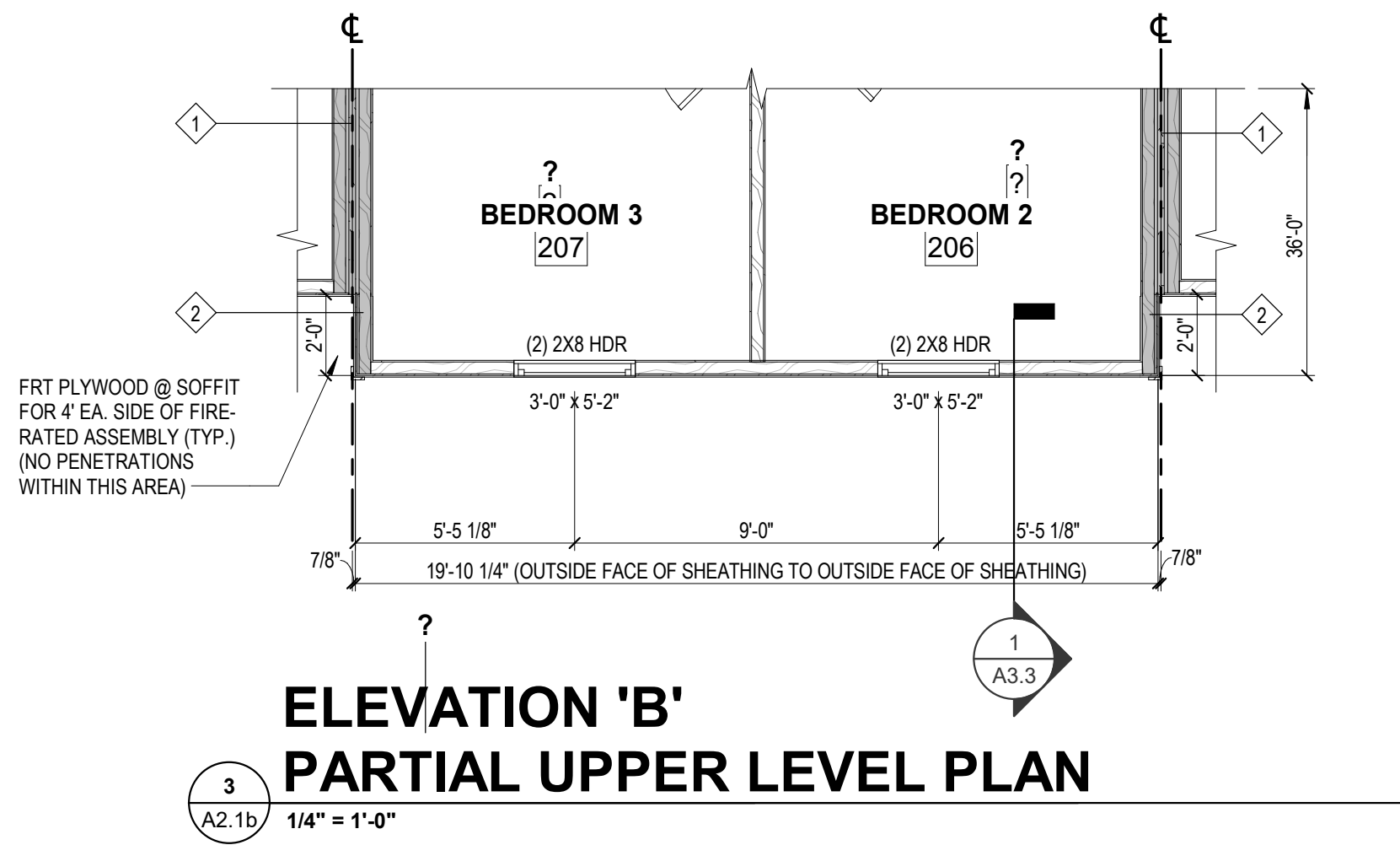
VISIONS

A2.1a

PROJECT NO 23180023.0



NOTE:
1. SEE SHEET T1.2 FOR GENERAL
EXTERIOR AND FINISH GRADE NOTES.



NOTE:
1. SEE SHEET T1.2 FOR GENERAL
EXTERIOR AND FINISH GRADE NOTES.



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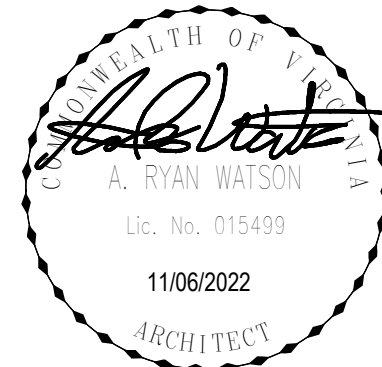
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WAVENLY - VER-6.1

3-STORY SLAB TOWNHOME

ELEVATION 'B' EXTERIOR ELEVATIONS

VIRGINIA

DRAWN BY ARW
DESIGNED BY ARW
CHECKED BY ARW
DATE 11/06/2022
SCALE 1/4" = 1'-0"
REVISIONS

A2.1b

PROJECT NO 23180023.01

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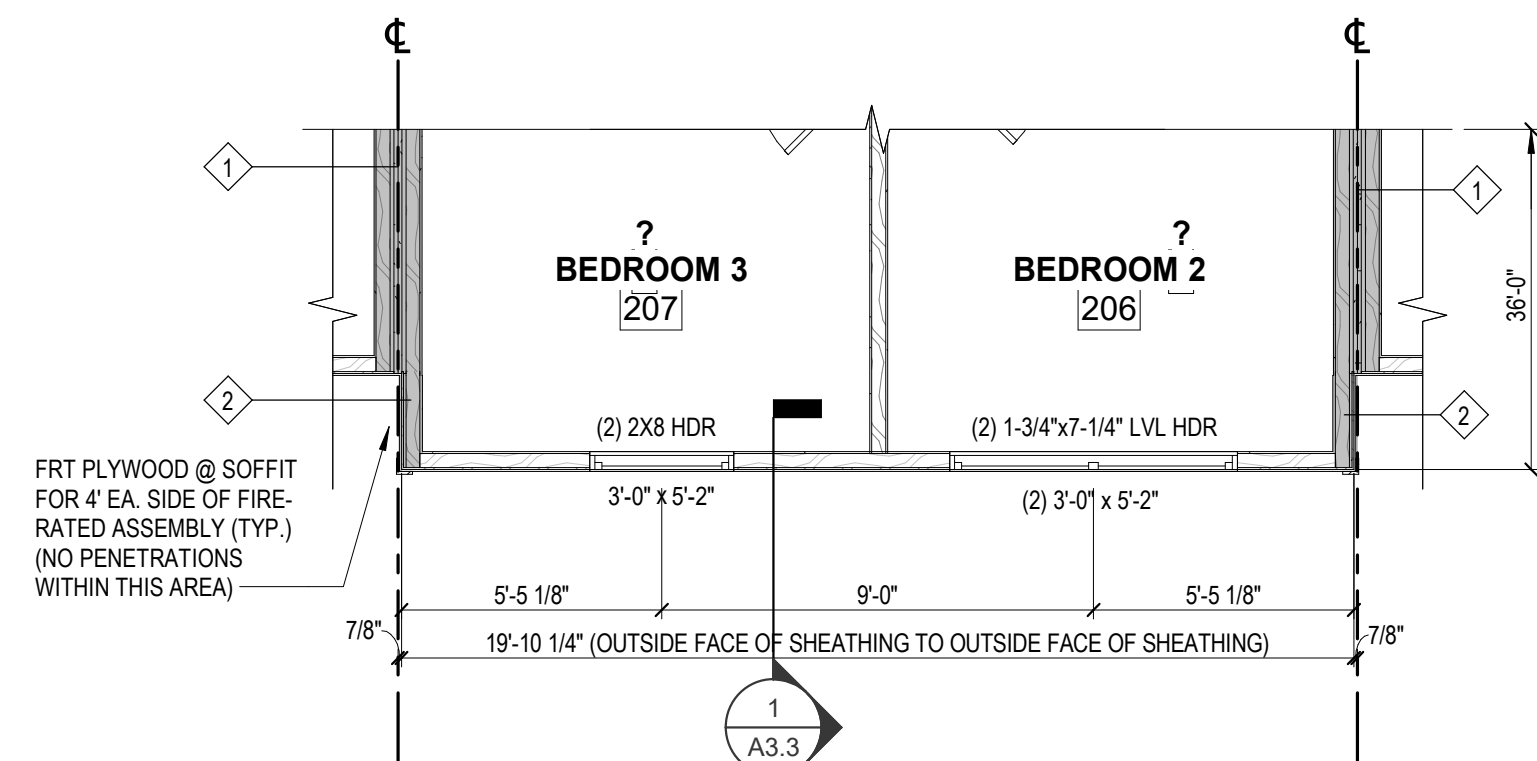
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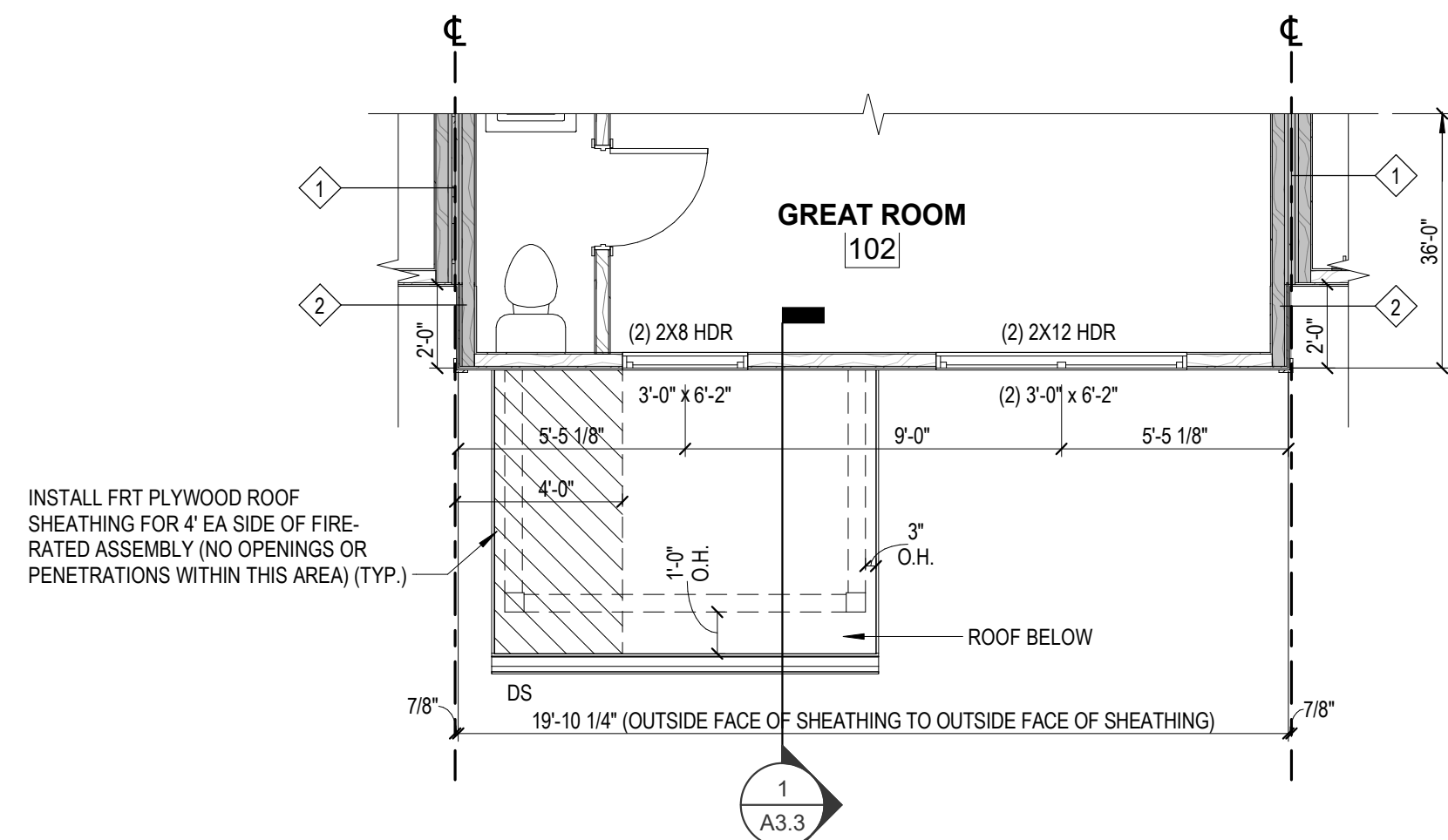
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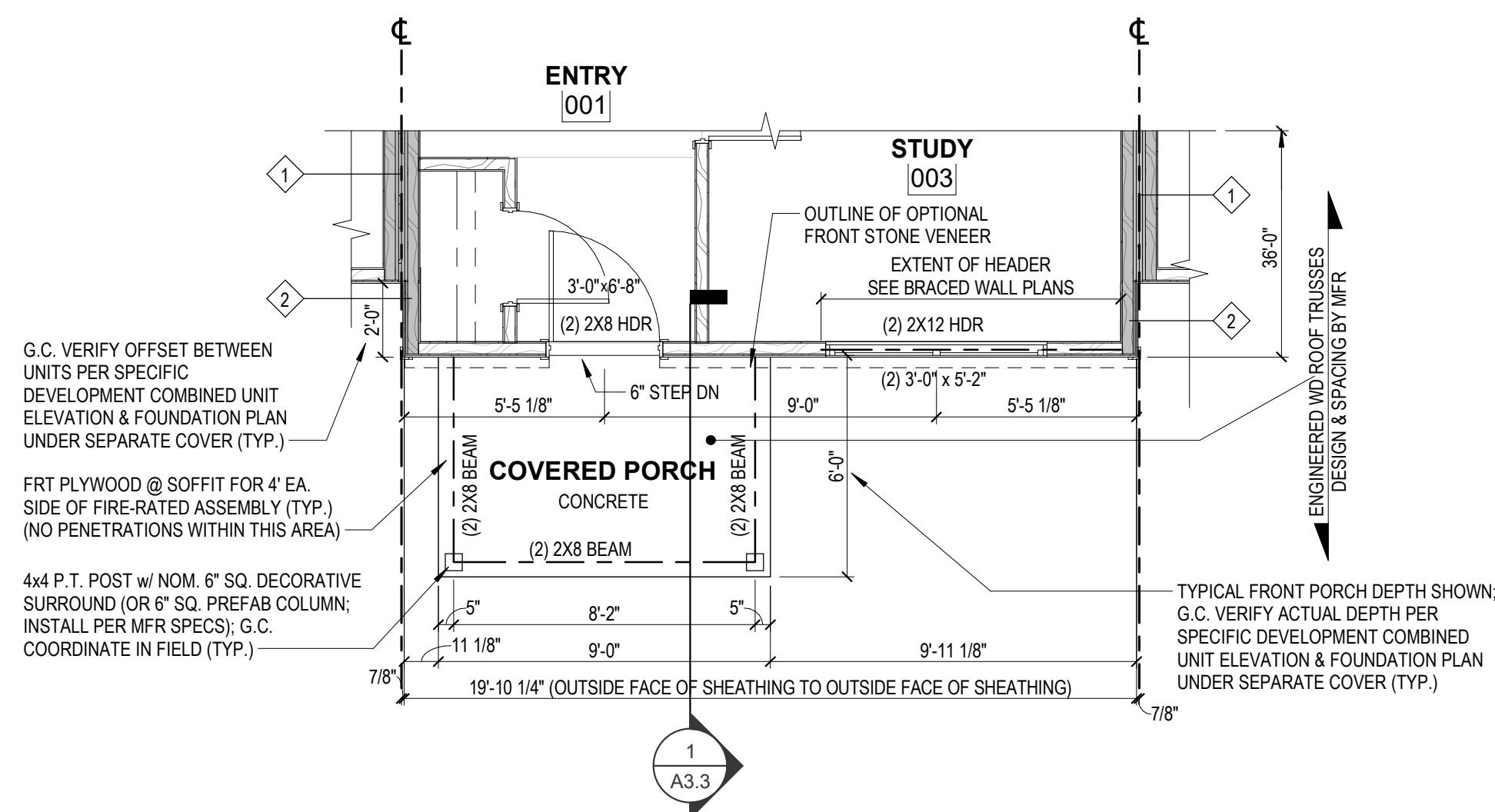
ELEVATION 'C'
PARTIAL UPPER LEVEL PLAN

3
A2.1c



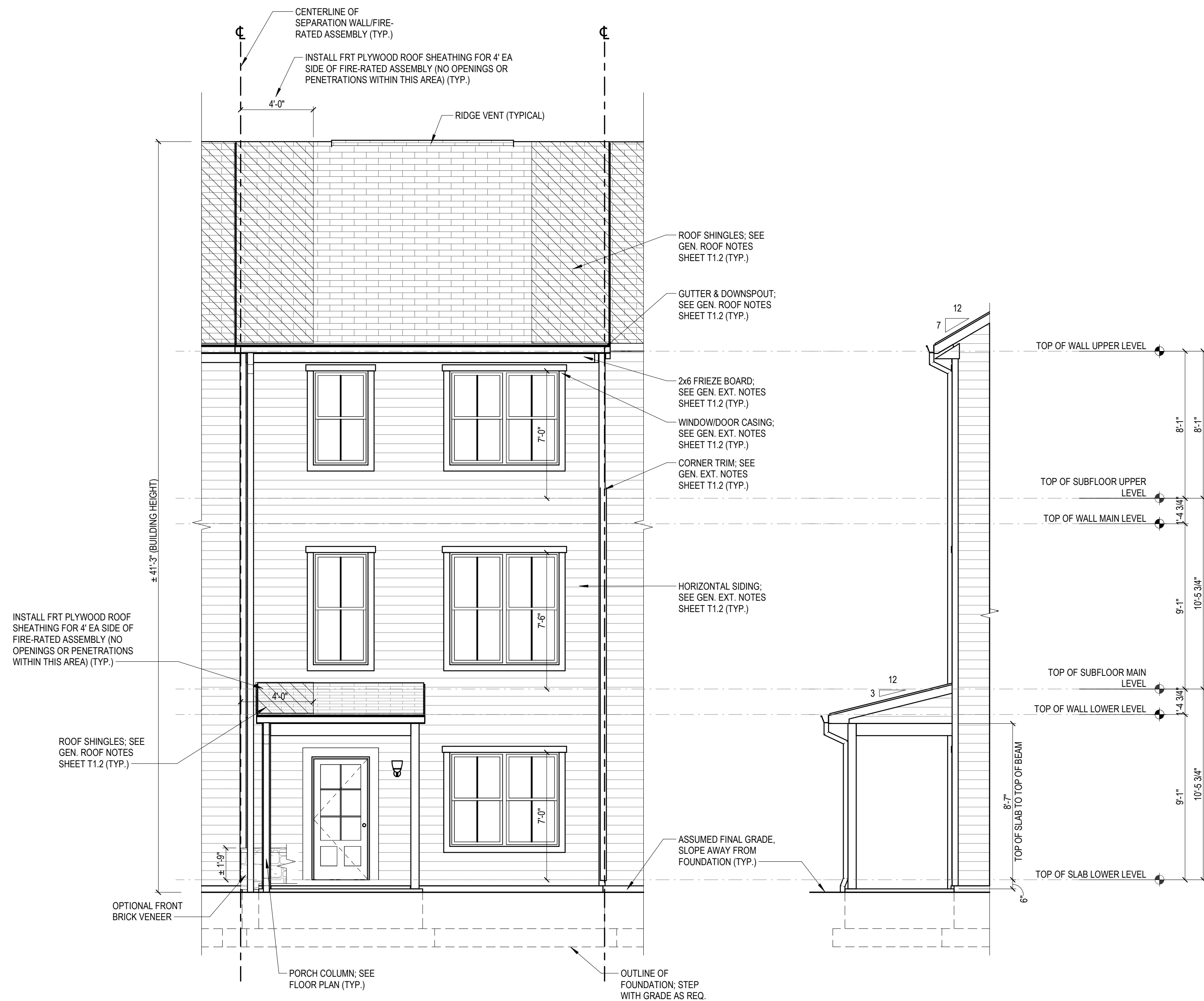
ELEVATION 'C' PARTIAL MAIN LEVEL PLAN

PAR
2
A2.1c 1/4" = 1'-0"



ELEVATION 'C'
PARTIAL LOWER LEVEL PLAN

1
A2.1c



ELEVATION 'C'
FRONT ELEVATION

4
A2.1c

ELEVATION 'C'
PARTIAL SIDE ELEVATION

5
A2.1c

NOTE:
1. SEE SHEET T1.2 FOR GENERAL
EXTERIOR AND FINISH GRADE NOTES.

1:0-17A - 1717AYAA

3-STORY SLAB TOWNHOME

ELEVATION 'C' EXTERIOR ELEVATIONS

VIRGINIA

AWN BY ARW

SIGNED BY ARW

ECKED BY **ARW**

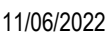
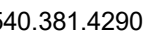
TE 11/06/2022

ALE $1/4" = 1'-0"$

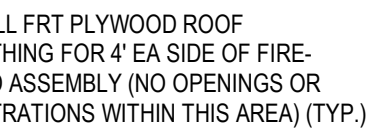
VISIONS

A2.1c

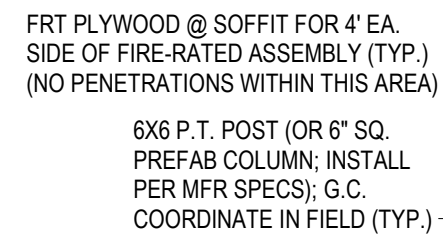
PROJECT NO 23180023.01



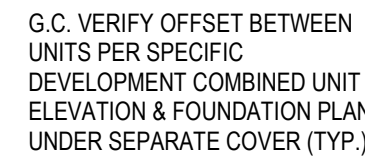
3
A2.1d 1/4" = 1'-0"



2
A2.1d 1/4" = 1'-0"



1
A2.1d 1/4" = 1'-0"



4
A2.1d

5
A2.1d

NOTE:
1. SEE SHEET T1.2 FOR GENERAL
EXTERIOR AND FINISH GRADE NOTES.

DRAWN BY	ARW
DESIGNED BY	ARW
CHECKED BY	ARW
DATE	11/06/2022
SCALE	1/4" = 1'-0"
REVISIONS	

PROJECT NO 23180023.01



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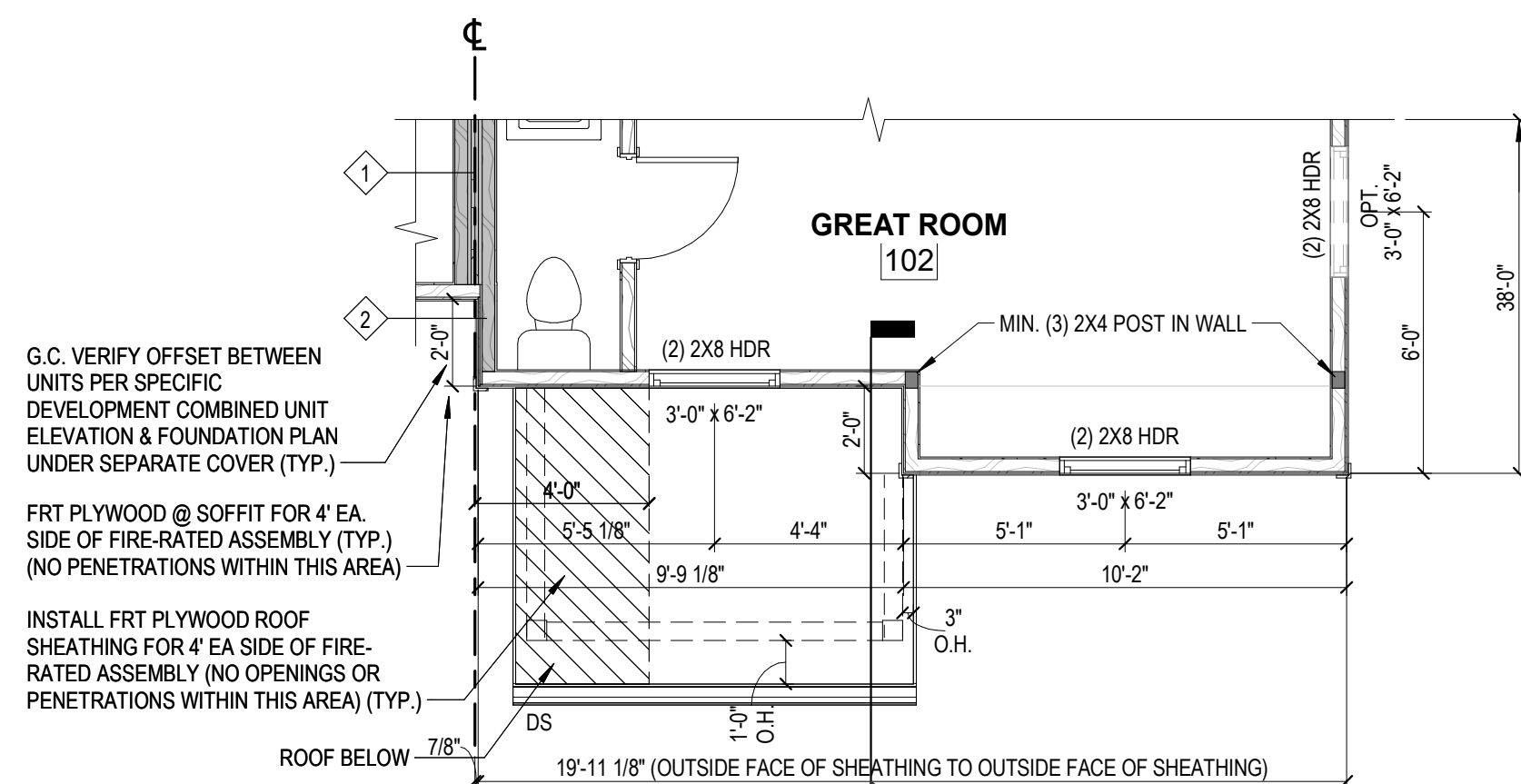
540.381.4290



ELEVATION 'E'
PARTIAL UPPER LEVEL PLAN

(A2.1e) $1/4" = 1'-0"$

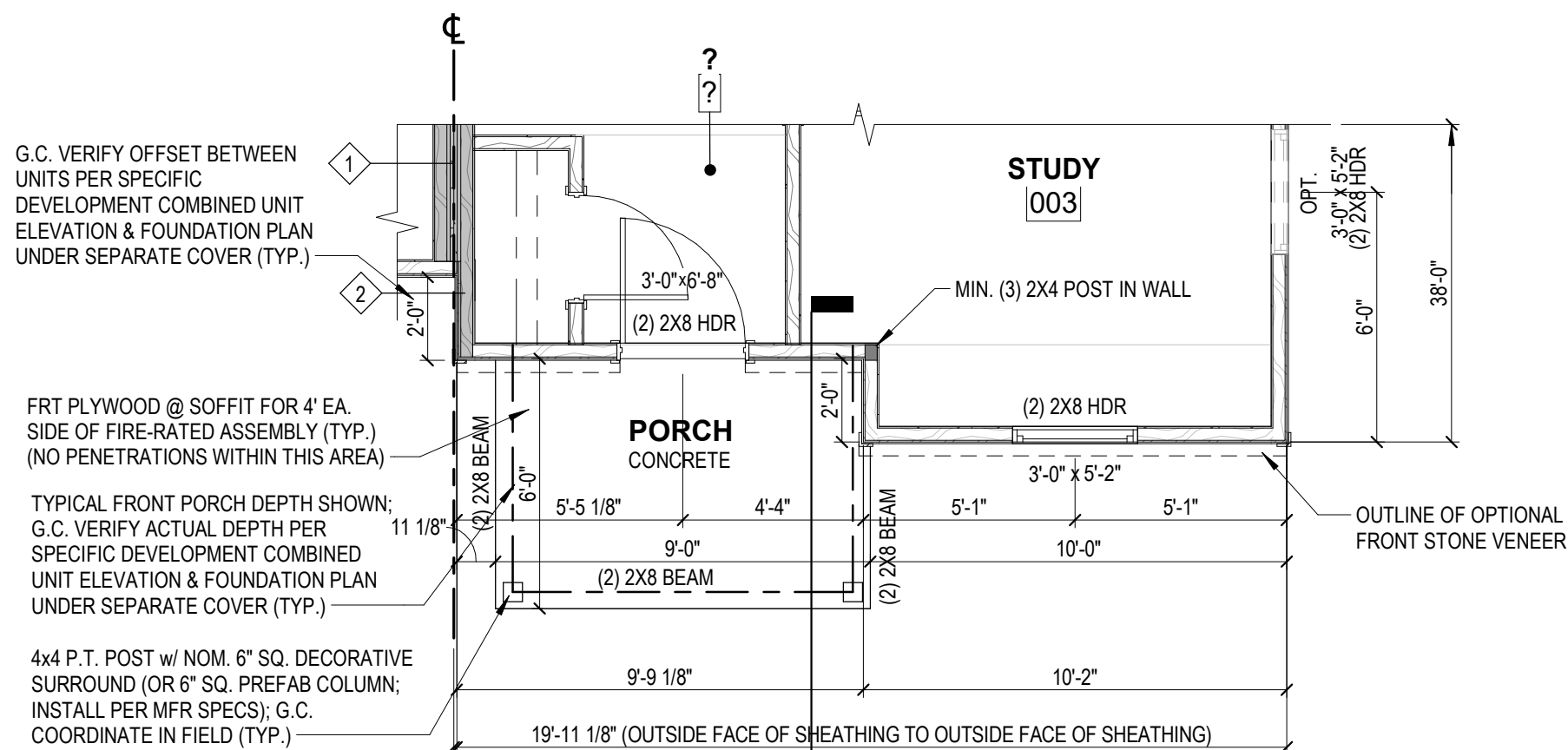
+20 SQ FT



ELEVATION 'E'
PARTIAL MAIN LEVEL PLAN

A2.1e $1/4" = 1'-0"$

+20 SQ FT

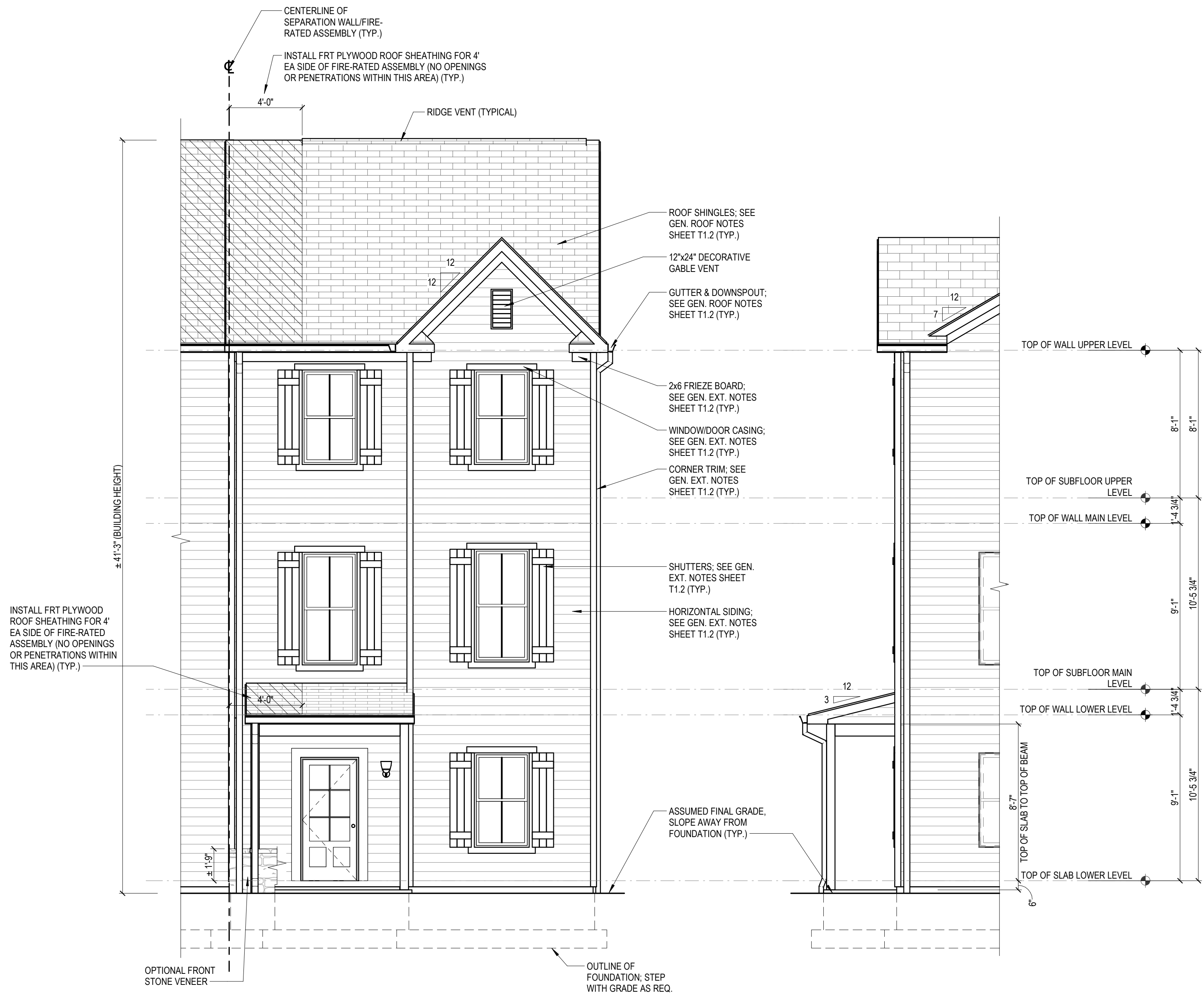


ELEVATION 'E'

PARTIAL LOWER LEVEL PLAN

A2.1e $1/4" = 1'-0"$

+20 SQ FT



ELEVATION 'E'
FRONT ELEVATION

A2.1e $1/4" = 1'-0"$

ELEVATION 'E'
PARTIAL SIDE ELEVATION

(A2.1e) $1/4" = 1'-0"$

3-STORY SLAB TOWNHOME

EVALUATION 'E' EXTENDED

2025-01-01

VIRGINIA

DRAWN BY ARW

SIGNED BY _____ ARW _____

ECKED BY ARW

TE 11/06/202

ALE $1/4" = 1'-0"$

VISIONS

A2.1e

PROJECT NO 23180023.0

GENERAL BUILDING SECTION NOTES

1. REFER TO STRUCTURAL SHEETS FOR ALL SLAB AND FOUNDATION DESIGN FACTORS, DIMENSIONS, NOTES, AND REINFORCING.
2. COORDINATE ALL MATERIALS/SYSTEMS WITH THOSE NOTED ON FLOOR PLANS, EXTERIOR ELEVATIONS, WALL SECTIONS, AND SCHEDULES.
3. COORDINATE ALL EXTERIOR WALL PENETRATIONS WITH OTHER TRADES.
4. BUILDING SECTIONS MAY VARY FROM PLANS AS SITE CONDITIONS AND BUILDING TECHNIQUES MAY DICTATE.
5. REFER TO CODE REVIEW DATA FOR REQUIRED INSULATION MINIMUM VALUES (UNDER-SLAB, WALLS, AND ROOF).



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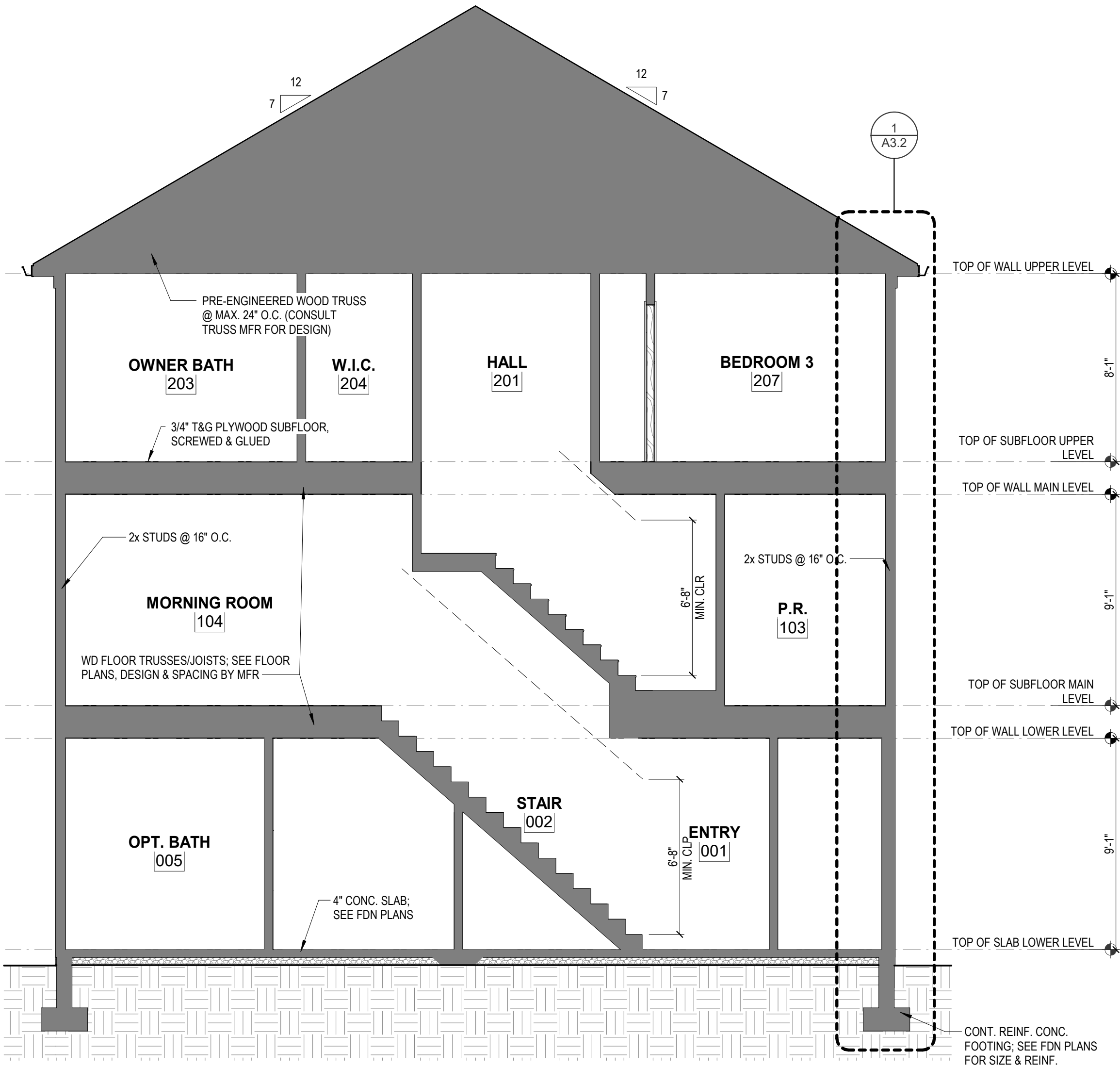
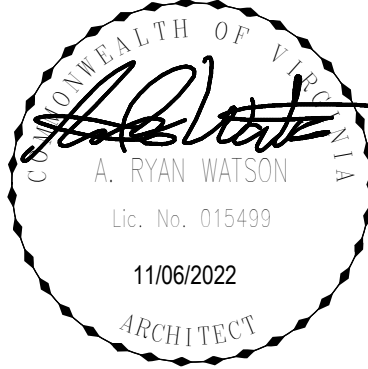
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**TYPICAL
BUILDING SECTION**

1/A3.1
1/4" = 1'-0"

WAVERLY - VER-6.1

3-STORY SLAB TOWNHOME

BUILDING SECTION

VIRGINIA

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CHECKED BY **ARW**
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SCALE **As indicated**
REVISIONS

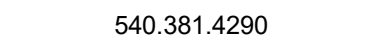
A3.1

PROJECT NO 23180023.01

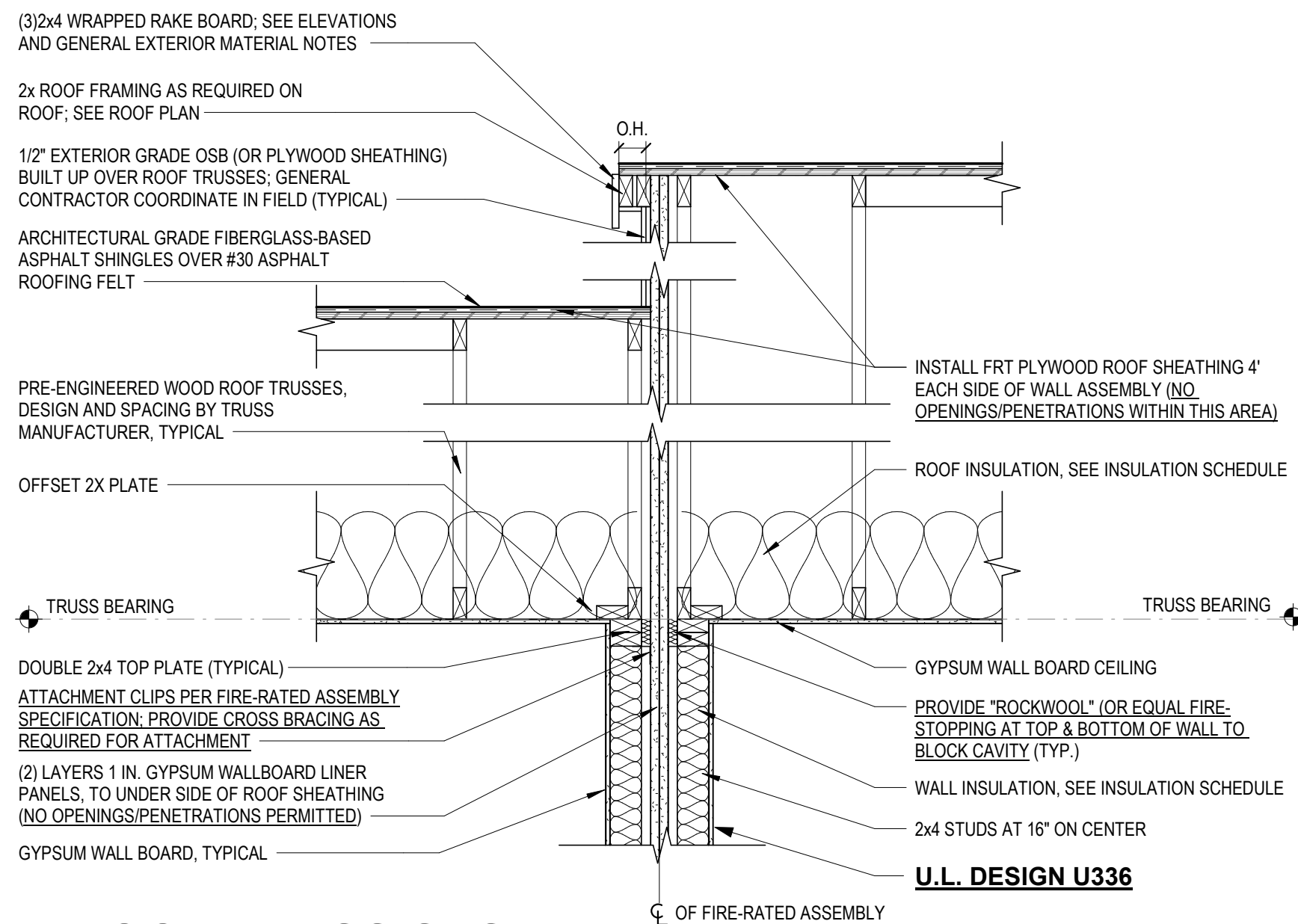


3. REFER TO STRUCTURAL SHEETS FOR ALL SLAB AND FOUNDATION DESIGN FEATURES, DIMENSIONS, NOTES, REINFORCING, AND MATERIALS.
4. COORDINATE EXTERIOR FINISHES AND DESCRIPTIONS WITH ADDITIONAL NOTES ON EXTERIOR ELEVATIONS.
5. COORDINATE EXTERIOR FINISH SURFACES (FLOORS, WALLS, AND CEILINGS) SHALL BE COORDINATED WITH FINISH SCHEDULES, FLOOR FINISH PLANS, AND REQUIRED COORDINATION.
6. ALL TRANSITIONAL FLASHING REQUIRED FOR ROOF/EAVE/PARAPET TRANSITIONS SHALL BE INSTALLED AS RECOMMENDED BY MANUFACTURERS OF ADJACENT MATERIALS AND SHALL BE CHEMICALLY COMPATIBLE SEALANTS.
7. REFER TO ROOF PLAN FOR ALL SLOPES.
8. REFER TO CODE REVIEW DATA FOR REQUIREMENTS FOR MINIMUM VALUES (UNDER-SLAB, WALLS, AND ROOF).
9. PROVIDE AND INSTALL SEALS/SEALANT EXPANSION FILLER AT ALL DISJUNCTIONS OF WALLS WITH FLOOR ROOFS PER MANUFACTURER RECOMMENDATIONS.

IN LIEU OF BENT DOWELS FROM FOUNDATION WALLS INTO FOOTINGS, MINIMUM 24" LONG # VERTICAL DOWELS @ 48" ON CENTER MAY BE USED (ALIGN WITH AND SPLICE TO VERTICAL REINFORCING WHERE POSSIBLE); DRILLED A MINIMUM OF 6" INTO THE CONCRETE FOOTING AND SET WITH "SIMPSON SET" OR "HILTI HIT HY-200" EPOXY (OR EQUAL). FOLLOW ALL MANUFACTURER'S GUIDELINES WITH REGARD TO HOLE DRILLING AND PREPARATION; GENERAL CONTRACTOR SHALL COORDINATE (TYPICAL).

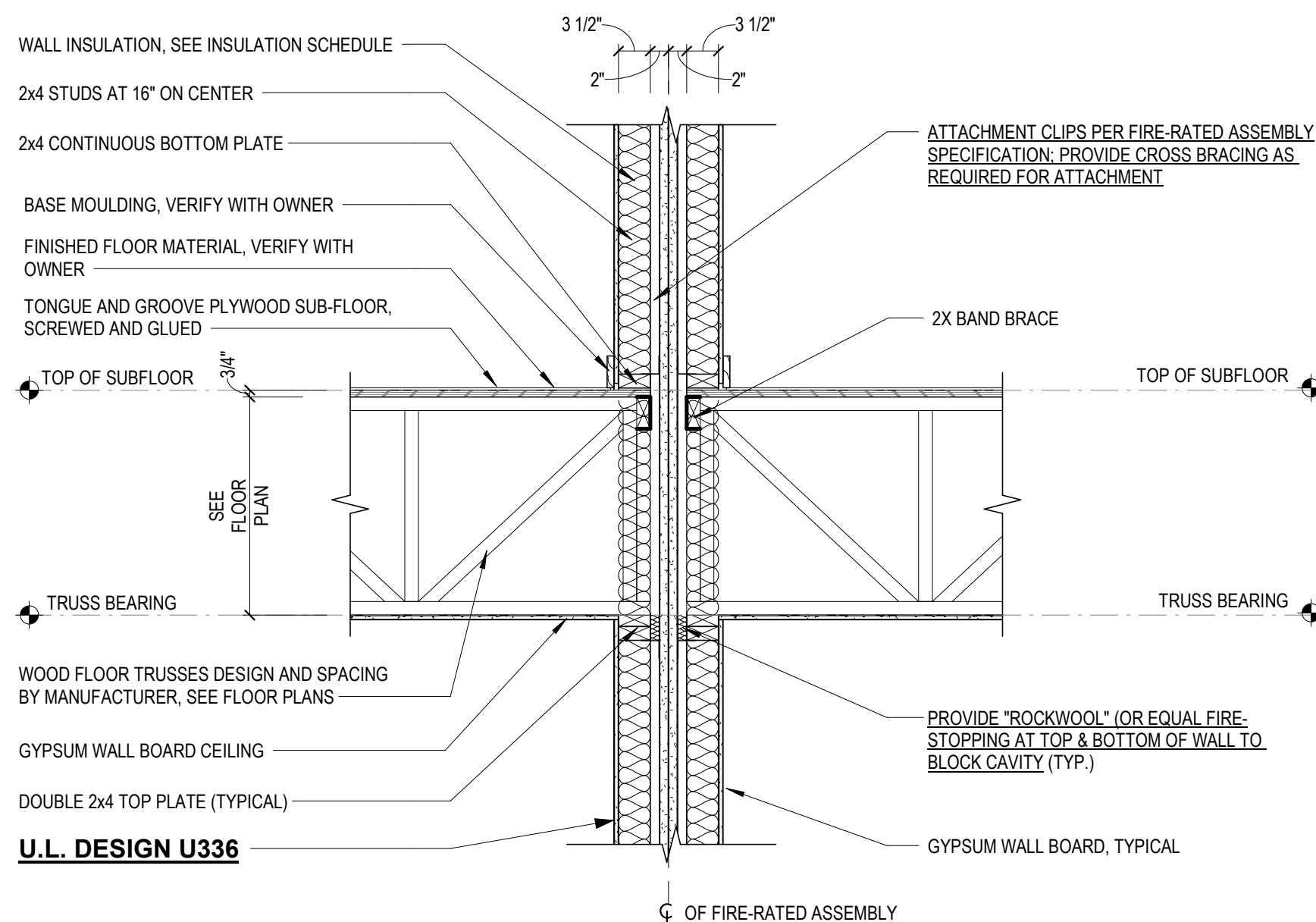


A3.2



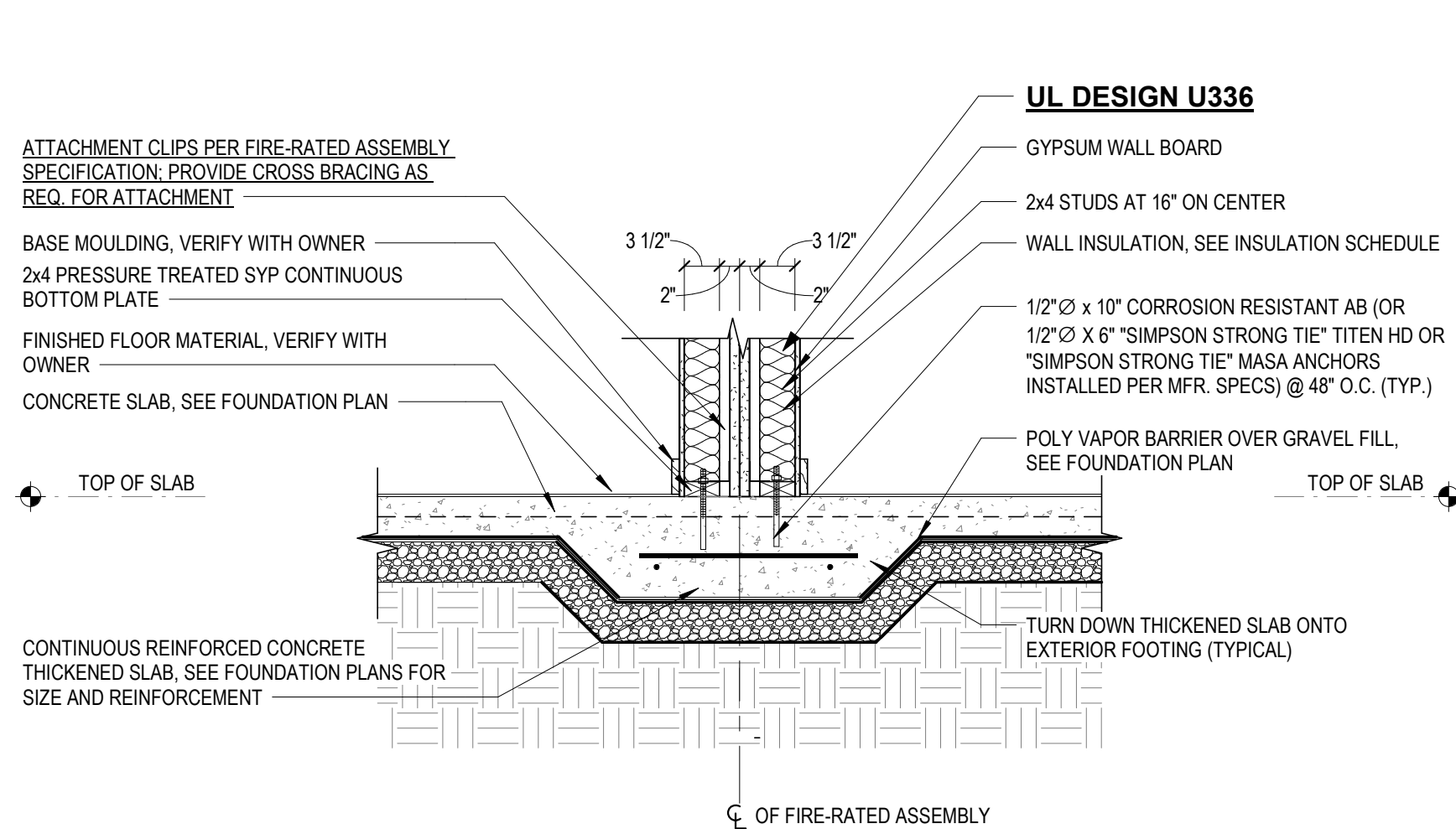
ROOF TRUSS SYSTEM @ FIRE-RATED WALL ASSEMBLIES

3
A3.4 3/4" = 1'-0"



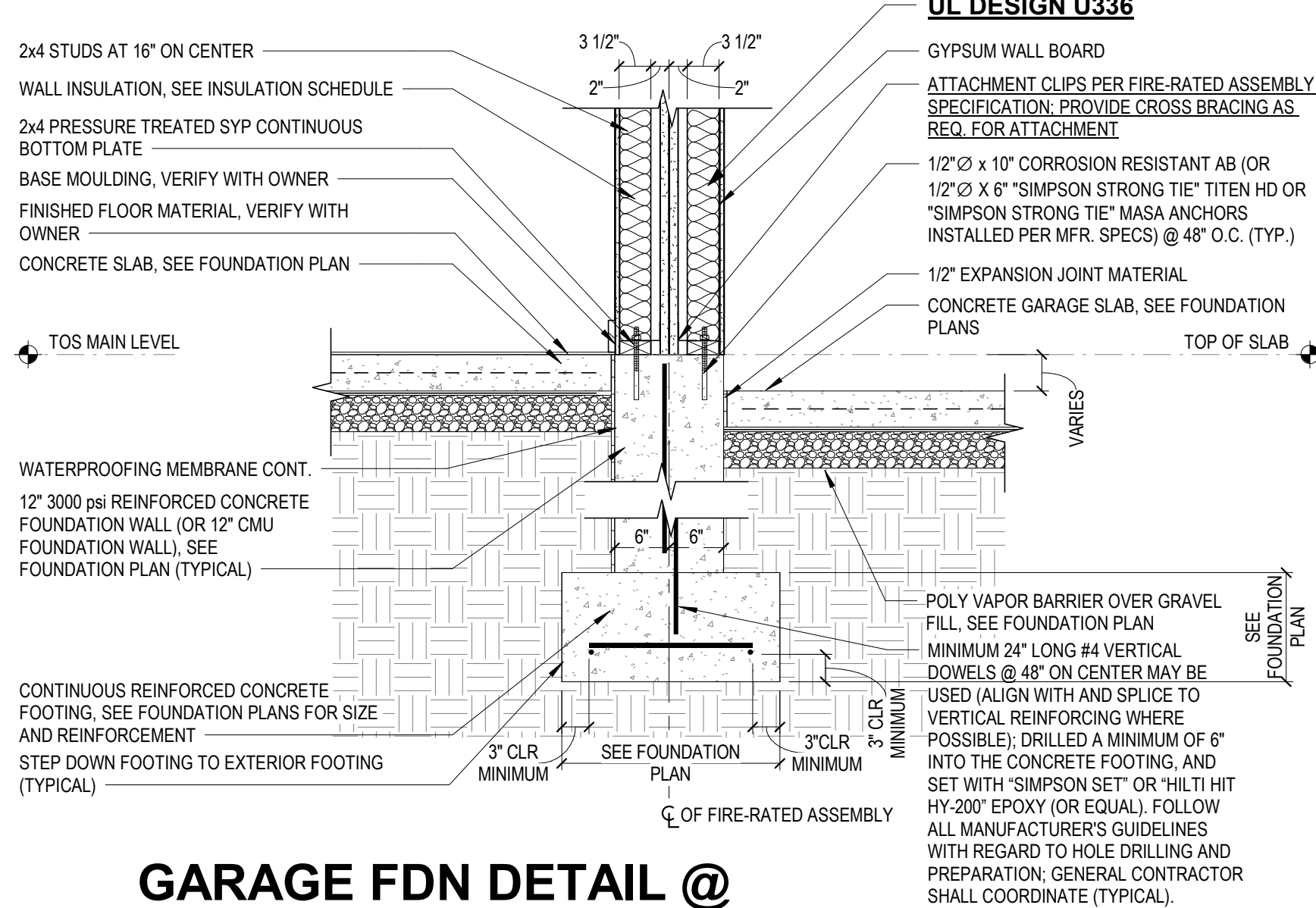
TRUSS FLOOR SYSTEM @ FIRE-RATED WALL ASSEMBLIES

2
A3.4 3/4" = 1'-0"



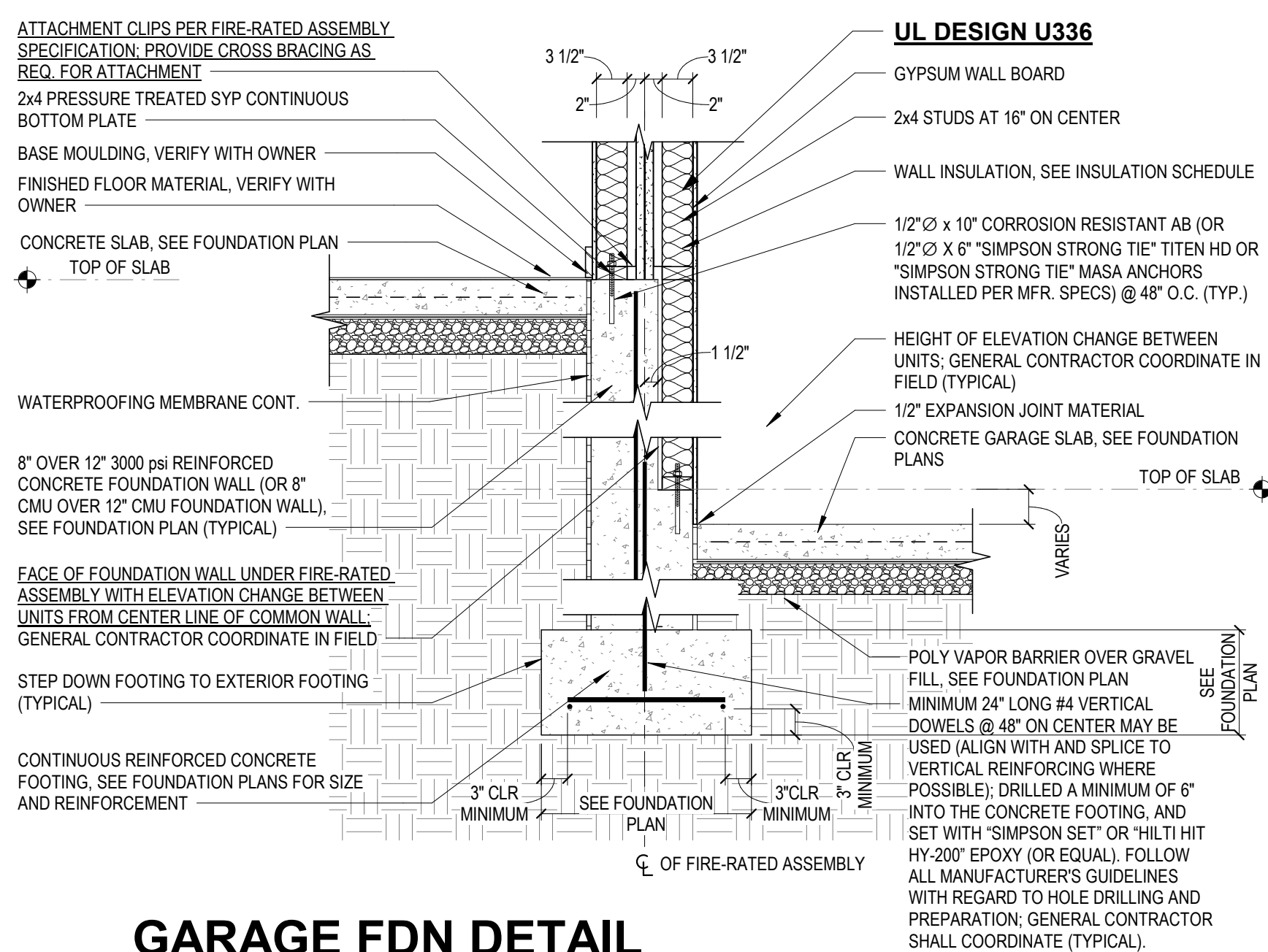
THICKENED SLAB DETAIL @ FIRE-RATED WALL ASSEMBLIES

1
A3.4 3/4" = 1'-0"



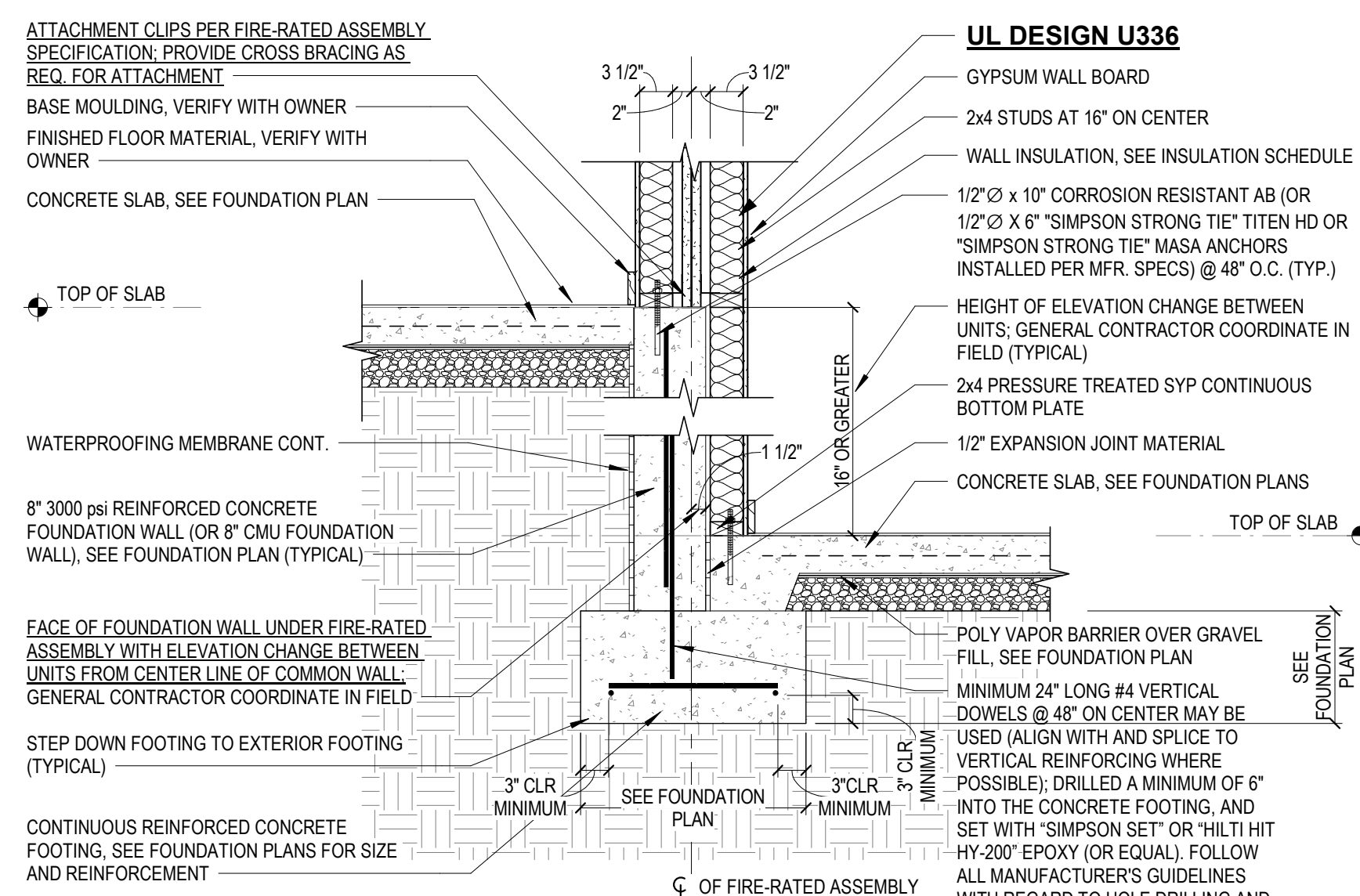
GARAGE FDN DETAIL @ FIRE-RATED WALL ASSEMBLIES

8
A3.4 3/4" = 1'-0"



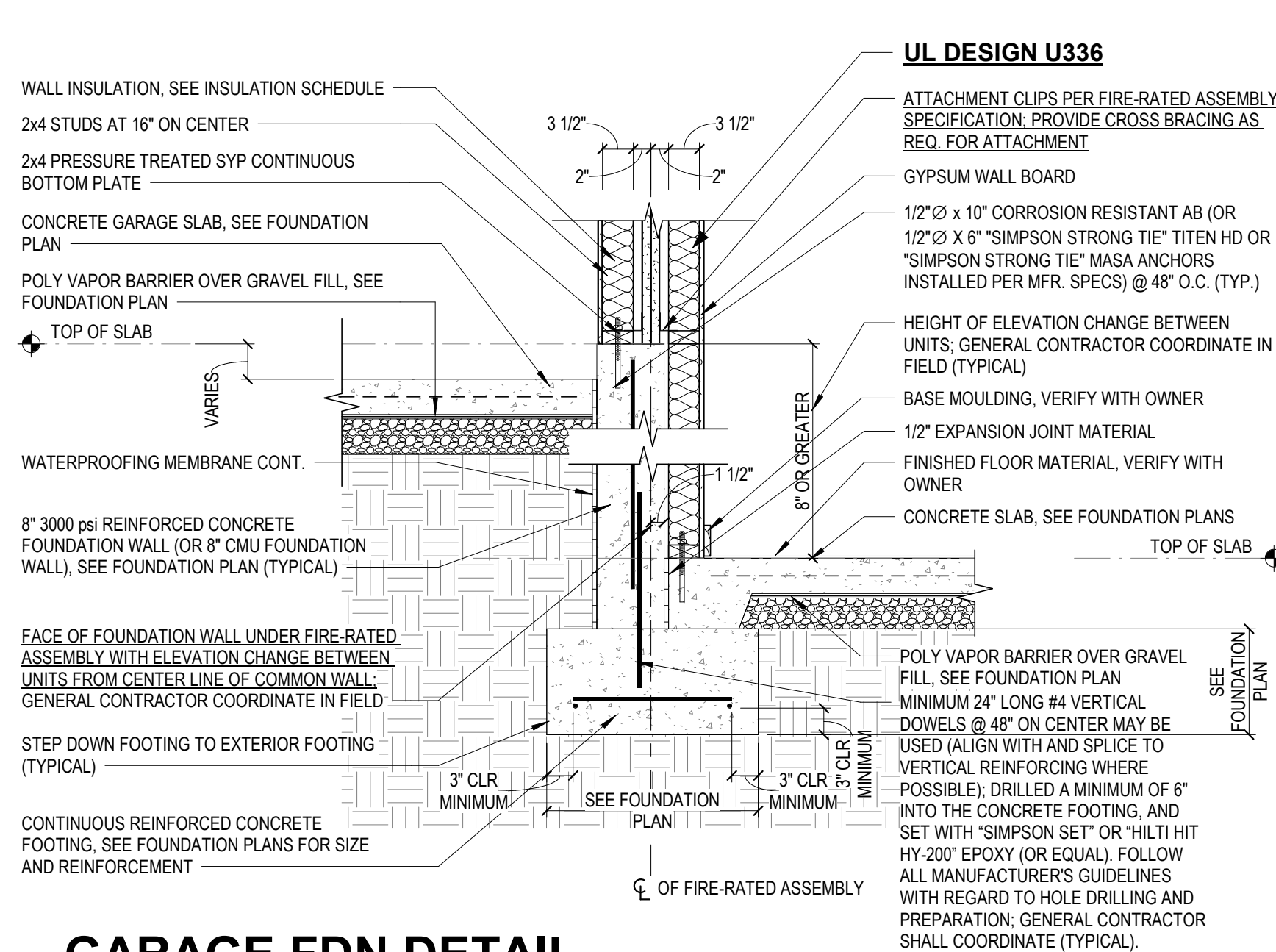
GARAGE FDN DETAIL @ ELEVATION CHANGE B/W UNITS @ FIRE-RATED WALL ASSEMBLIES

7
A3.4 3/4" = 1'-0"



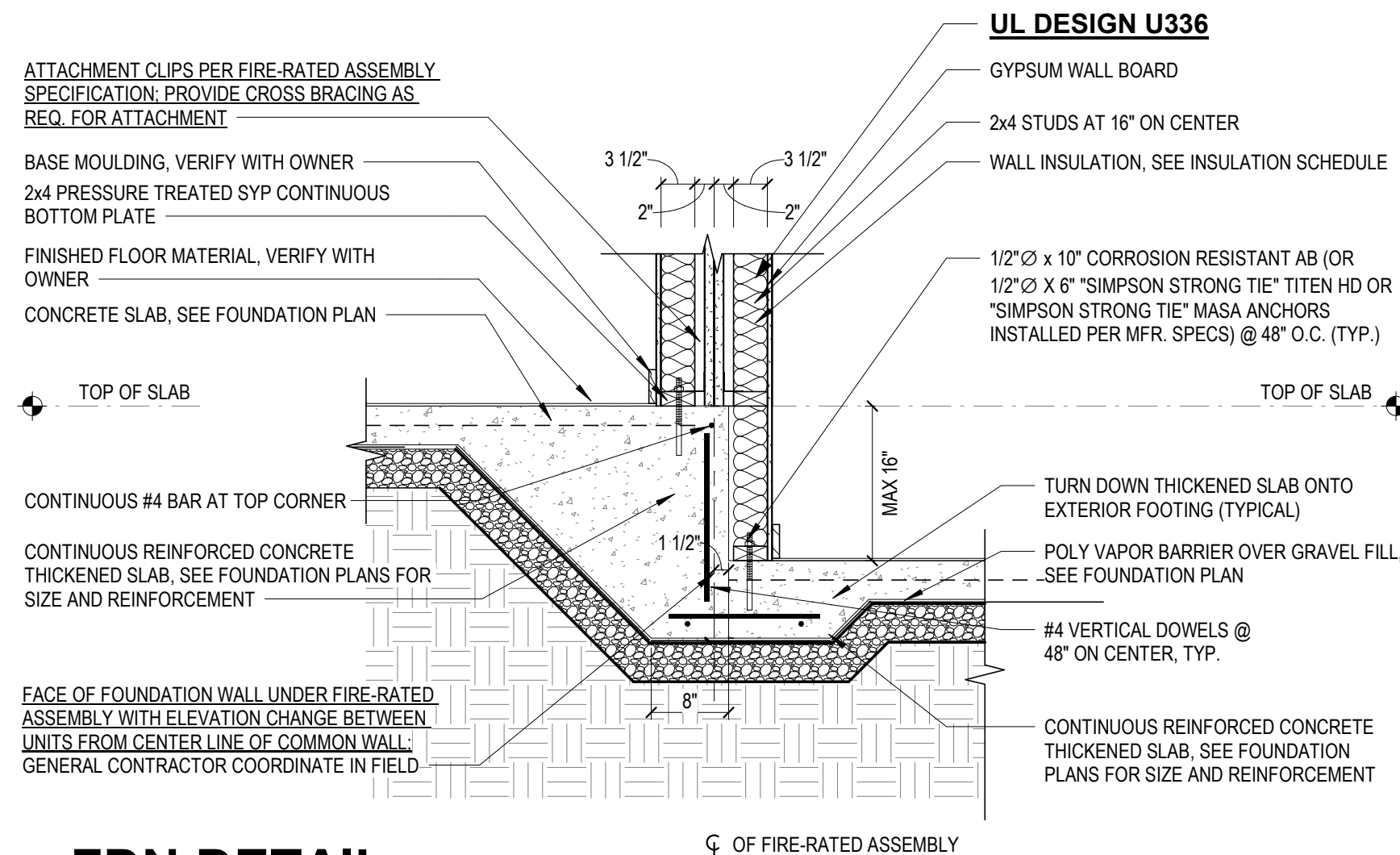
FDN DETAIL @ ELEVATION CHANGE > 16\"/>

4
A3.4 3/4" = 1'-0"



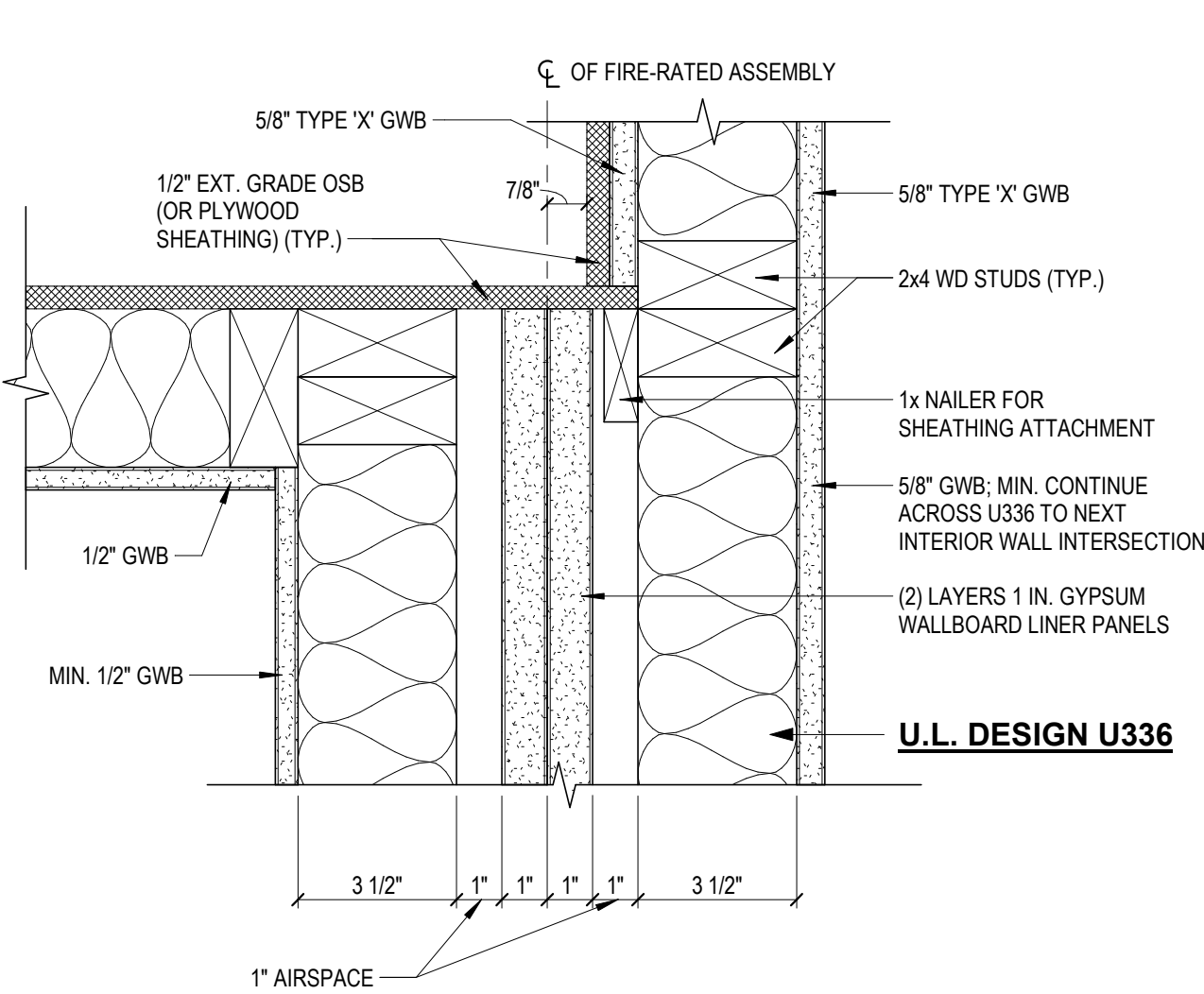
GARAGE FDN DETAIL @ ELEVATION CHANGE B/W UNITS @ FIRE-RATED WALL ASSEMBLIES

9
A3.4 3/4" = 1'-0"



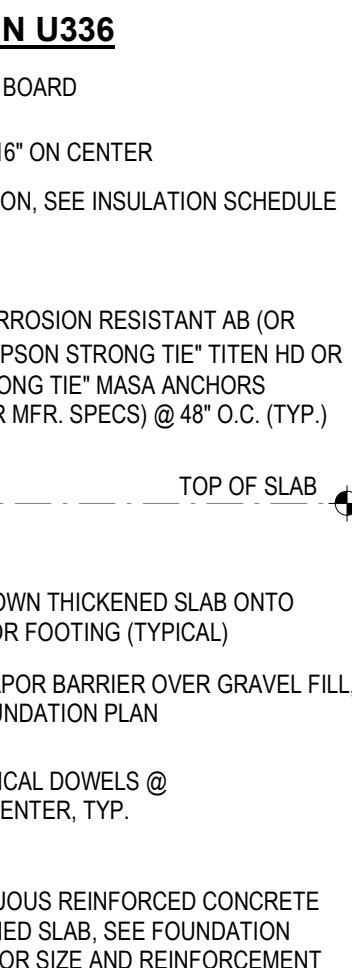
FDN DETAIL @ ELEVATION CHANGE ≤ 16\"/>

10
A3.4 NOT TO SCALE



TYPICAL INTERSECTION DETAIL @ FIRE-RATED WALL ASSEMBLIES

5
A3.4 3\"/>



TYPICAL INTERSECTION DETAIL @ FIRE-RATED WALL ASSEMBLIES

6
A3.4 1/2\"/>

GENERAL WALL SECTION NOTES

- REFER TO STRUCTURAL SHEETS FOR ALL SLAB AND FOUNDATION DESIGN FACTORS, DIMENSIONS, NOTES, REINFORCING, AND DEFLECTION CRITERIA.
- COORDINATE EXTERIOR FINISHES AND DESCRIPTIONS WITH ADDITIONAL NOTES ON EXTERIOR ELEVATIONS.
- ALL INTERIOR FINISH SURFACES (FLOORS, WALLS, AND CEILINGS) SHALL BE COORDINATED WITH FINISH SCHEDULES, FLOOR FINISH PLANS, AND REFLECTED CEILING PLANS.
- ALL TRANSITIONAL FLASHING REQUIRED AT ROOF EAVE/PARAPET TRANSITIONS SHALL BE INSTALLED AS RECOMMENDED BY MANUFACTURERS OF ADJACENT MATERIALS WITH APPROVED AND CHEMICALLY COMPATIBLE SEALANTS.
- REFER TO ROOF PLAN FOR ALL SLOPES.
- REFER TO CODE REVIEW DATA FOR REQUIRED INSULATION MINIMUM VALUES (UNDER-SLAB, WALLS, AND ROOF).
- PROVIDE AND INSTALL SEALANTS AND/OR EXPANSION FILLER AT ALL DISSIMILAR MATERIALS. INSTALL WITH BACKER RODS PER MANUFACTURER RECOMMENDATIONS.

NOTE (DOWEL ALTERNATE):

IN LIEU OF BENT DOWELS FROM FOUNDATION WALLS INTO FOOTINGS, MINIMUM 24\"/>



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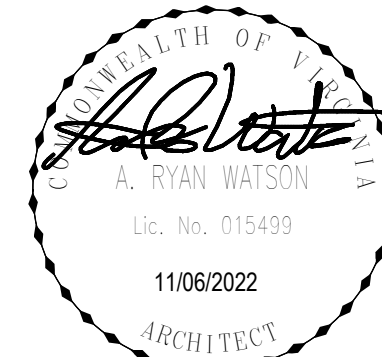
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WAVERLY - VER-6.1

3-STORY SLAB TOWNHOME

FIRE-RATED ASSEMBLY SECTIONS & DETAILS

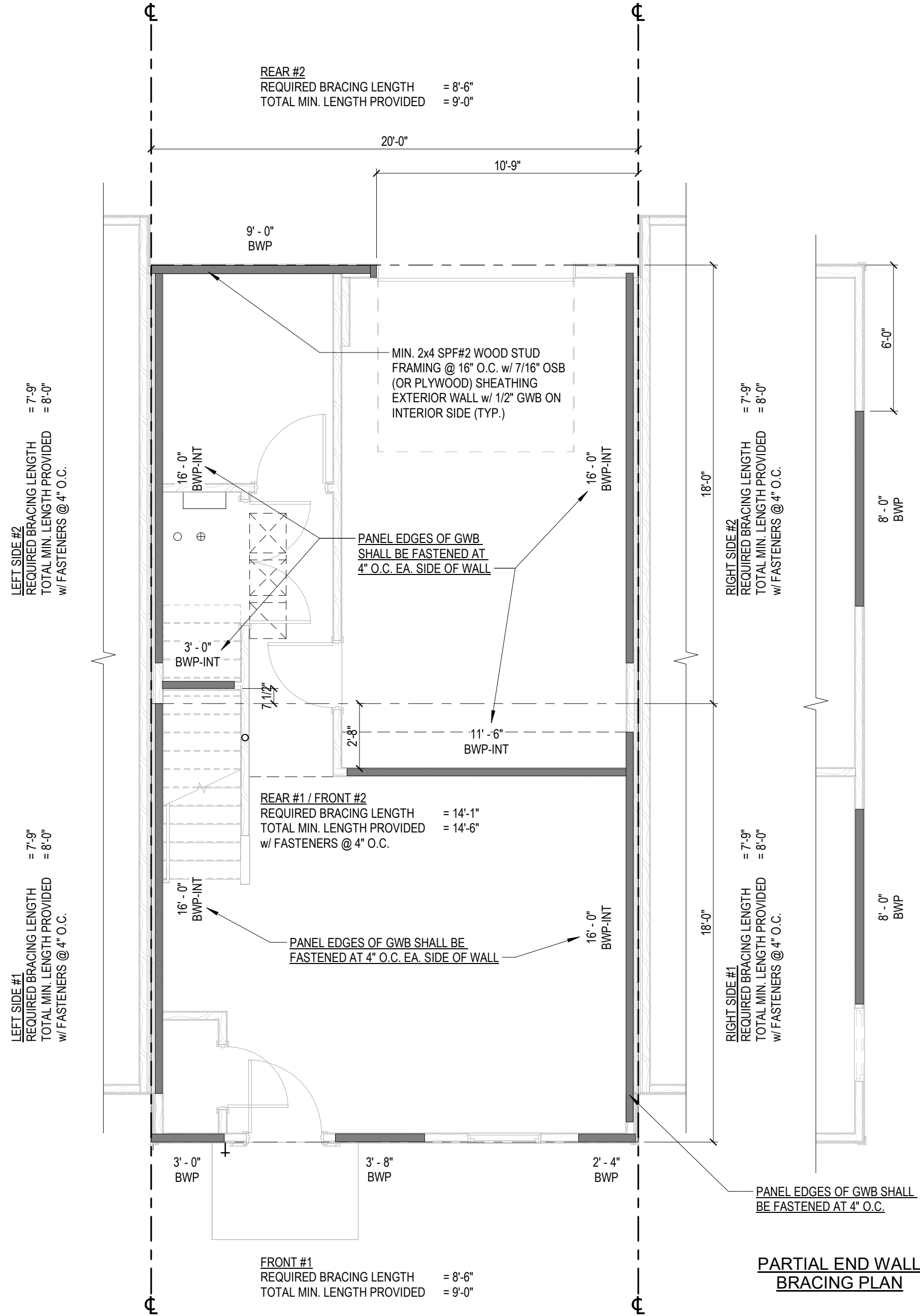
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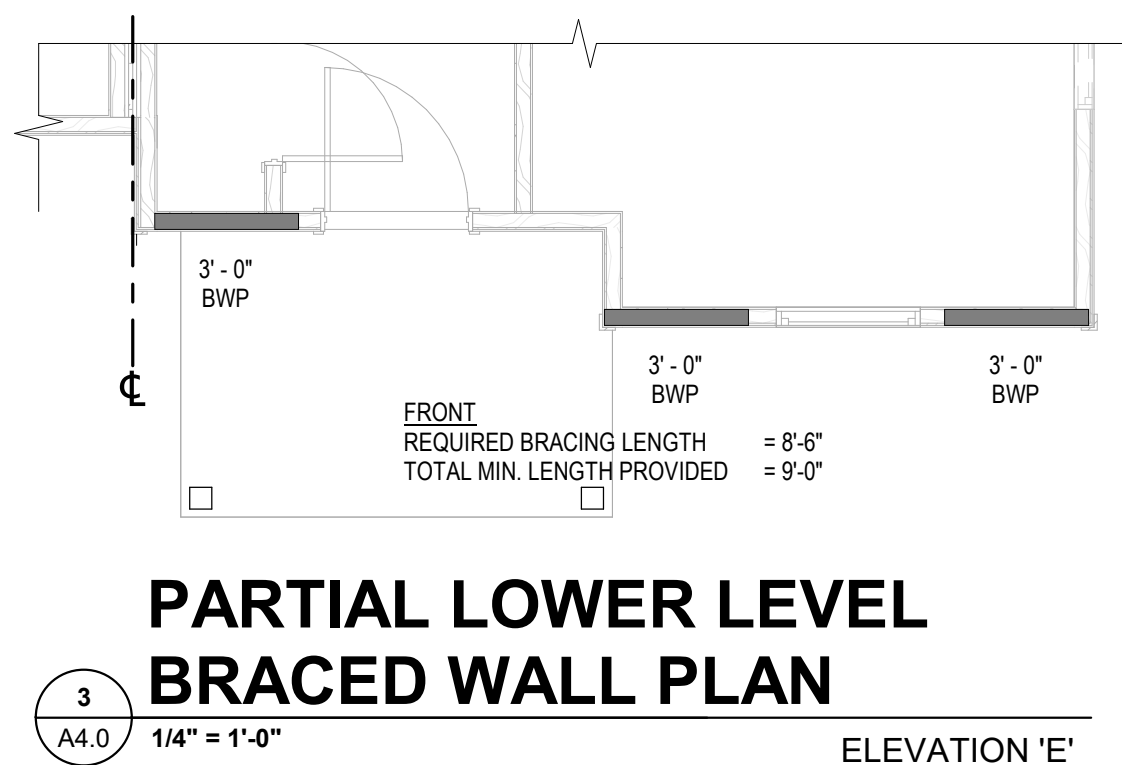
A3.4

PROJECT NO

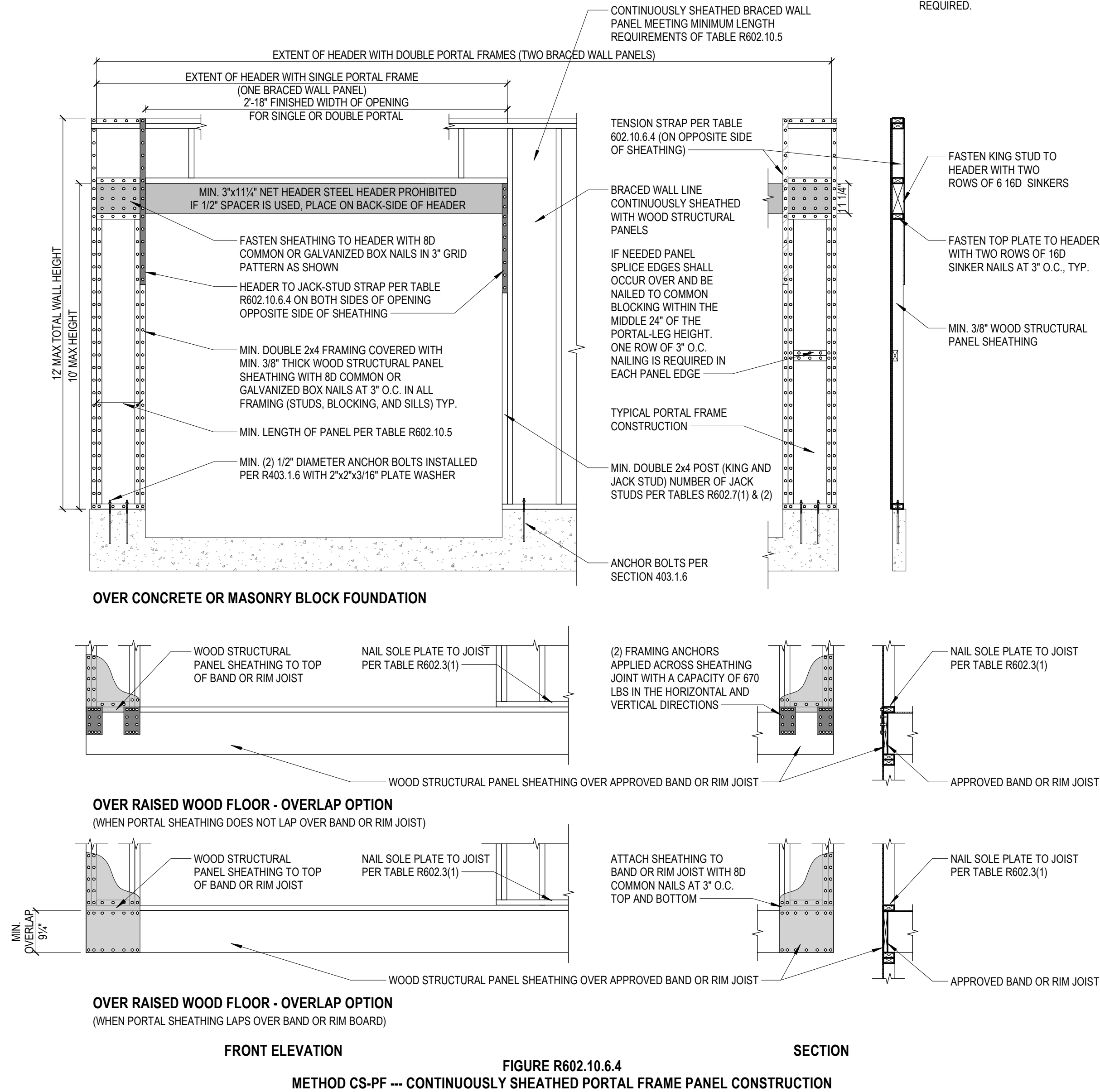
23180023.01



**TYPICAL LOWER LEVEL
BRACED WALL PLAN**
ELEVATION 'A'
ELEVATIONS 'B', 'C' & 'D' SIMILAR
1
A4.0
1/4" = 1'-0"



**PARTIAL LOWER LEVEL
BRACED WALL PLAN**
ELEVATION 'E'
3
A4.0
1/4" = 1'-0"



GENERAL WALL BRACING NOTES (R602.12):

1. THIS STRUCTURE HAS BEEN DESIGNED IN COMPLIANCE WITH VIRGINIA RESIDENTIAL CODE (VRC) SECTION R602.12. PRACTICAL WALL BRACING, WITH STRUCTURAL WOOD SHEATHING (PLYWOOD OR OSB) APPLIED CONTINUOUSLY OVER ENTIRE EXTERIOR.
2. THE MINIMUM REQUIRED LENGTH OF BRACING FOR EACH SIDE OF THE CIRCUMSCRIBED RECTANGLE HAS BEEN DETERMINED USING VRC TABLE R602.12.4. ULTIMATE WINDS SPEED 115 MPH. EXPOSURE CATEGORY B.
3. BRACED WALL PANELS (BWP) SHALL BE FULL-HEIGHT SECTIONS OF WALL THAT HAVE NO VERTICAL OR HORIZONTAL OFFSETS. FASTENED IN ACCORDANCE WITH VRC TABLE R602.3(3) AND CONNECTED TO FLOOR FRAMING OR FOUNDATIONS PER VRC SECTION 602.10.8 AND 602.10.9. BRACED WALL PANELS SHALL HAVE A MINIMUM LENGTH BASED ON VRC SECTION R602.12.2.
4. CONTINUOUSLY SHEATHED WOOD STRUCTURAL BRACED WALL PANEL (CONTRIBUTING LENGTH = ACTUAL)
5. CONTINUOUSLY SHEATHED PORTAL FRAME (PER USBC FIGURE R602.10.6.4) (CONTRIBUTING LENGTH = 1.5 x ACTUAL)
6. GYPSUM WALL BOARD STRUCTURAL BRACED WALL PANEL (CONTRIBUTING LENGTH = 0.5 x ACTUAL) (MINIMUM LENGTH OF 48 INCHES WHEN SHEATHING MATERIAL IS APPLIED TO ONE SIDE. DOUBLE SIDE APPLICATION CONSIDERED TWO BRACED WALL PANELS)
7. DISTRIBUTION OF BRACED WALL PANELS SHALL BE PER VRC SECTION R602.12.6. THE EDGE OF A BRACED WALL PANEL SHALL BEGIN WITHIN 12 FEET FROM ANY BUILDING CORNER. THE DISTANCE BETWEEN ADJACENT EDGES OF BRACED WALL PANELS SHALL BE NO GREATER THAN 20 FEET. SEGMENTS OF EXTERIOR WALLS GREATER THAN 8 FEET IN LENGTH SHALL HAVE A MINIMUM OF ONE BRACED WALL PANEL AND SEGMENTS 8 FEET OR LESS IN LENGTH SHALL BE PERMITTED TO HAVE NO BRACED WALL PANELS.
8. PANEL SIZES SHOWN MEET THE MINIMUM WIDTH OF FULL SHEATHED WALL SECTION REQUIRED AT THAT SPECIFIC LOCATION, BASED ON ADJACENT OPENING SIZE AND WALL HEIGHT. ANY MOVEMENT OF WINDOW OR DOOR OPENINGS DURING CONSTRUCTION SHALL MAINTAIN AT LEAST THE MINIMUM PANEL SIZES AND SPACING REQUIRED.



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WAVERLY - VER-6.1

3-STORY SLAB TOWNHOME

WALL BRACING PLANS

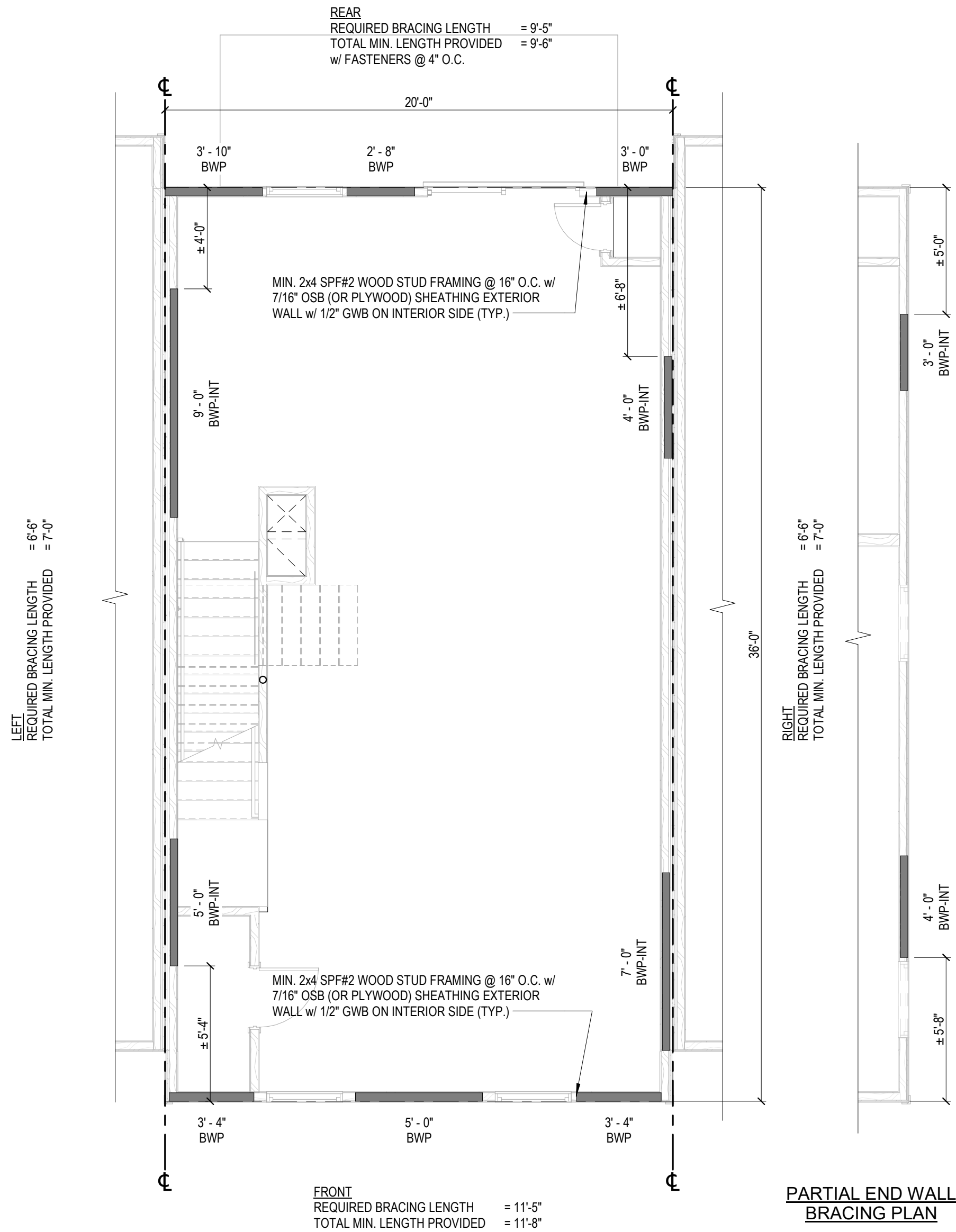
VIRGINIA

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REVISIONS

A4.0

PROJECT NO

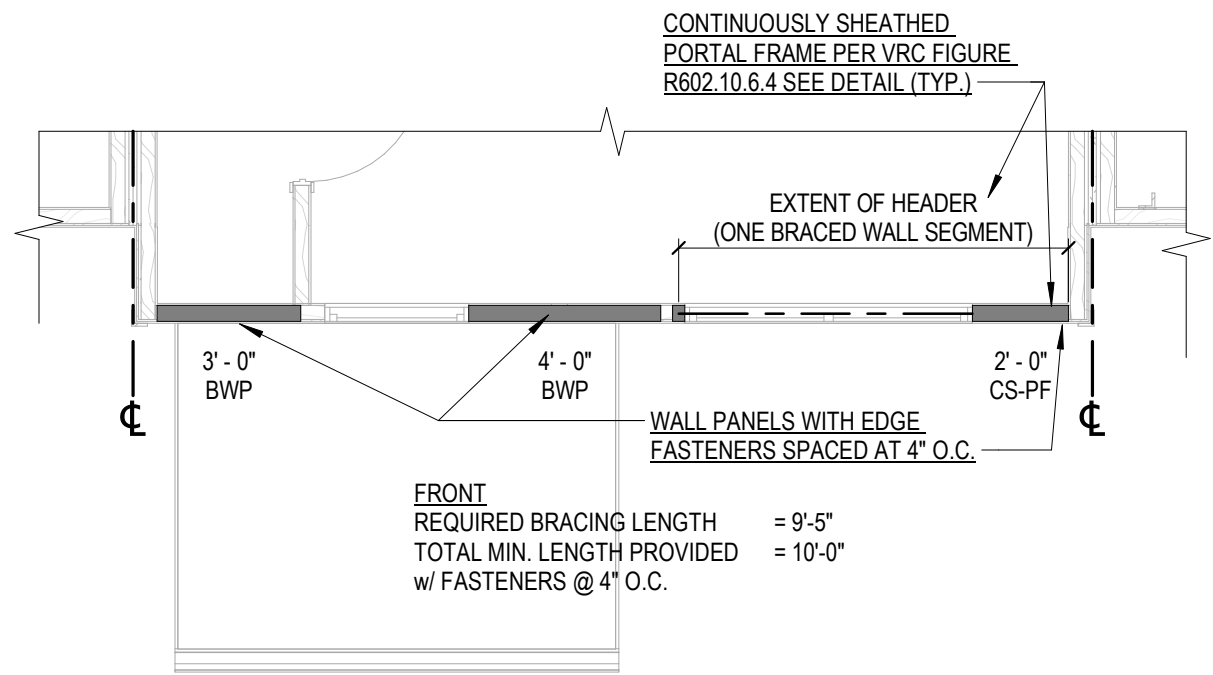
23180023.01



1
A4.1
1/4" = 1'-0"

**TYPICAL MAIN LEVEL
BRACED WALL PLAN**

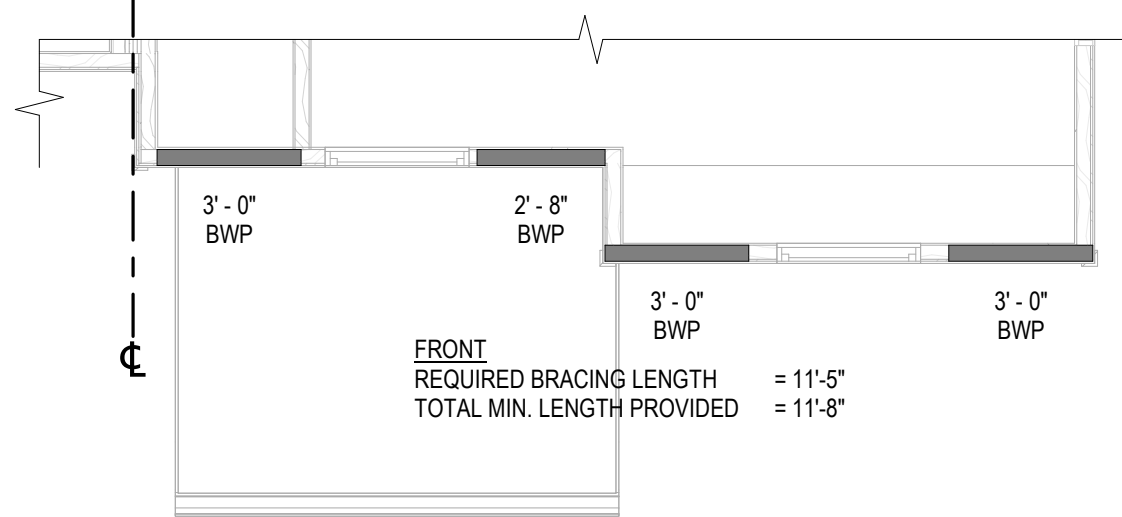
ELEVATION 'A'
ELEVATIONS 'B' & 'D' SIMILAR



2
A4.1
1/4" = 1'-0"

**PARTIAL MAIN LEVEL
BRACED WALL PLAN**

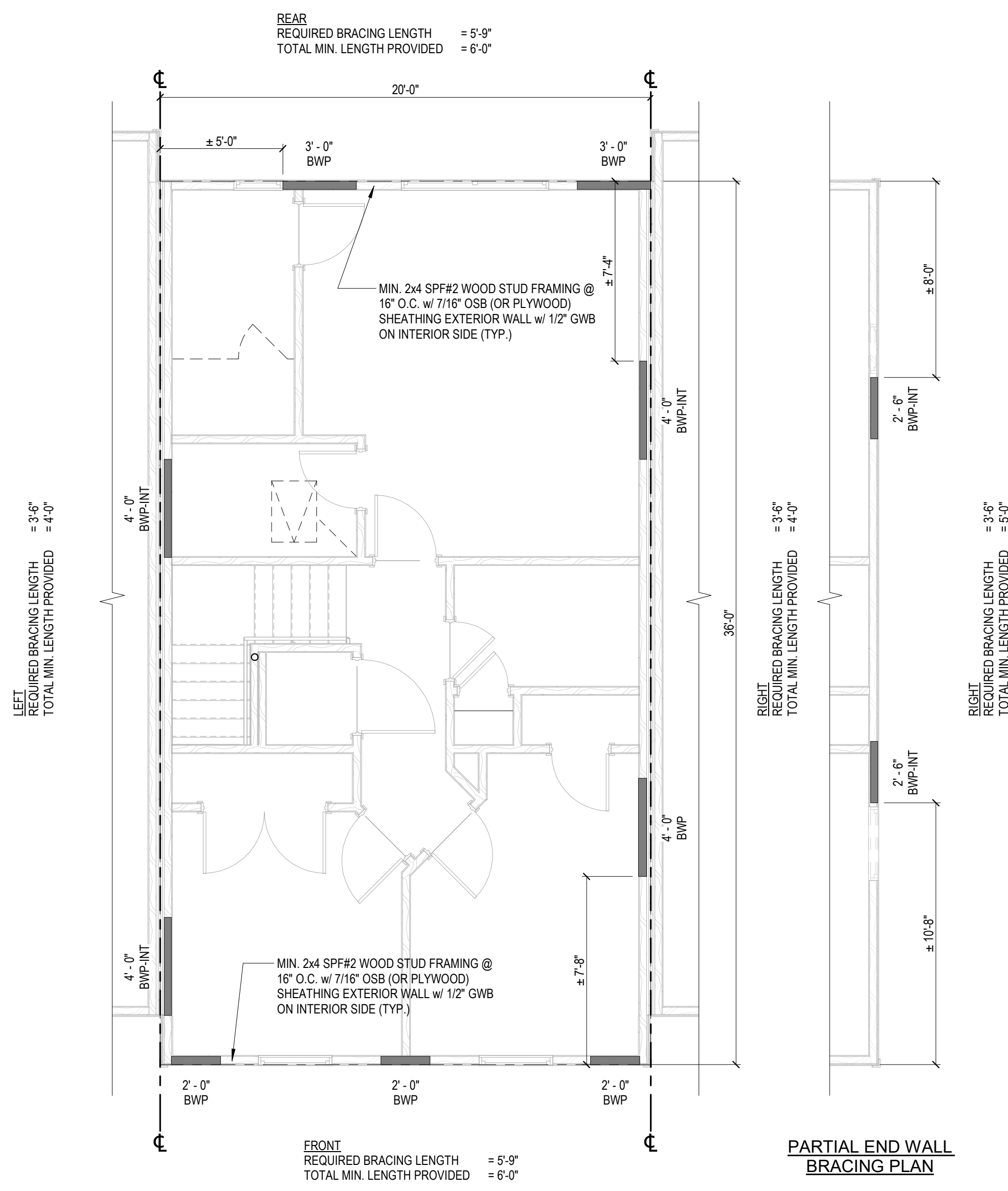
ELEVATION 'C'



3
A4.1
1/4" = 1'-0"

**PARTIAL MAIN LEVEL
BRACED WALL PLAN**

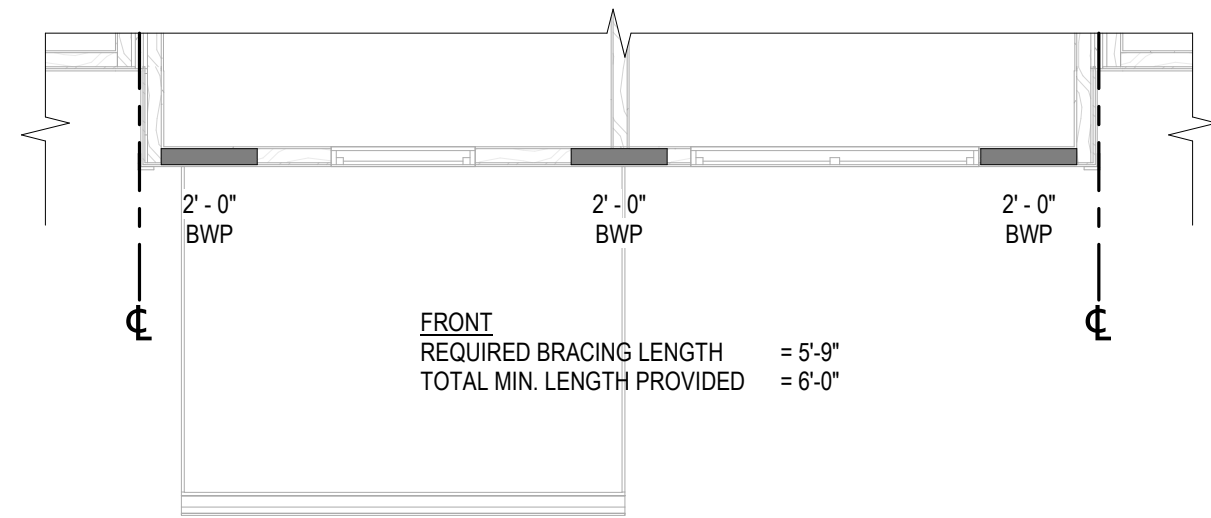
ELEVATION 'E'



4
A4.1
1/4" = 1'-0"

**TYPICAL UPPER LEVEL
BRACED WALL PLAN**

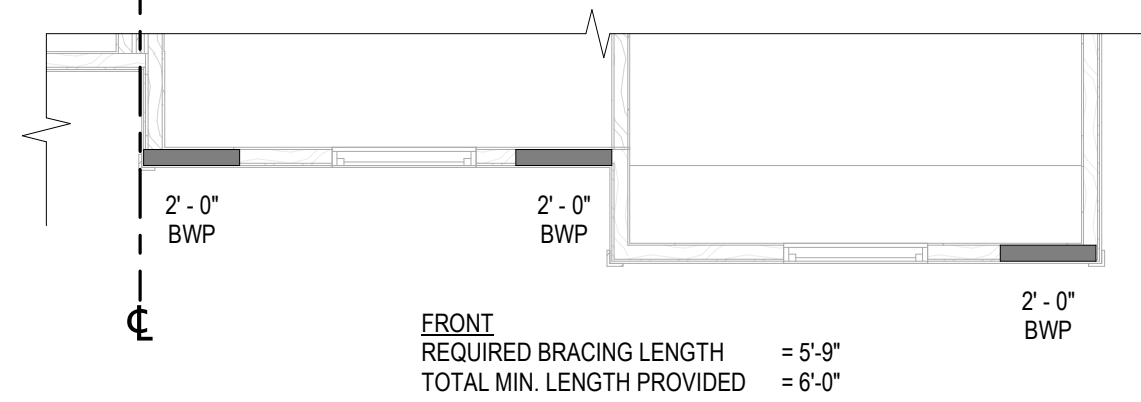
ELEVATION 'A'
ELEVATIONS 'B' & 'D' SIMILAR



5
A4.1
1/4" = 1'-0"

**PARTIAL UPPER LEVEL
BRACED WALL PLAN**

ELEVATION 'C'



6
A4.1
1/4" = 1'-0"

**PARTIAL UPPER LEVEL
BRACED WALL PLAN**

ELEVATION 'E'

GENERAL WALL BRACING NOTES (R602.12):

1. THIS STRUCTURE HAS BEEN DESIGNED IN COMPLIANCE WITH VIRGINIA RESIDENTIAL CODE (VRC) SECTION R602.12. PRACTICAL WALL BRACING, WITH STRUCTURAL WOOD SHEATHING (PLYWOOD OR OSB) APPLIED CONTINUOUSLY OVER ENTIRE EXTERIOR.
2. THE MINIMUM REQUIRED LENGTH OF BRACING FOR EACH SIDE OF THE CIRCUMSCRIBED RECTANGLE HAS BEEN DETERMINED USING VRC TABLE R602.12.4. ULTIMATE WINDS SPEED 115 MPH. EXPOSURE CATEGORY B.
3. BRACED WALL PANELS (BWP) SHALL BE FULL-HEIGHT SECTIONS OF WALL THAT HAVE NO VERTICAL OR HORIZONTAL OFFSETS. FASTENED IN ACCORDANCE WITH VRC TABLE R602.3(3) AND CONNECTED TO FLOOR FRAMING OR FOUNDATIONS PER VRC SECTION 602.10.8 AND 602.10.9. BRACED WALL PANELS SHALL HAVE A MINIMUM LENGTH BASED ON VRC SECTION R602.12.2.
4. BWP CONTINUOUSLY SHEATHED WOOD STRUCTURAL BRACED WALL PANEL (CONTRIBUTING LENGTH = ACTUAL)
5. CS-PF CONTINUOUSLY SHEATHED PORTAL FRAME (PER USBC FIGURE R602.10.6.4) (CONTRIBUTING LENGTH = 1.5 x ACTUAL)
6. BWP-INT GYPSUM WALL BOARD STRUCTURAL BRACED WALL PANEL (CONTRIBUTING LENGTH = 0.5 x ACTUAL) (MINIMUM LENGTH OF 48 INCHES WHEN SHEATHING MATERIAL IS APPLIED TO ONE SIDE. DOUBLE SIDE APPLICATION CONSIDERED TWO BRACED WALL PANELS)
7. DISTRIBUTION OF BRACED WALL PANELS SHALL BE PER VRC SECTION R602.12.6. THE EDGE OF A BRACED WALL PANEL SHALL BEGIN WITHIN 12 FEET FROM ANY BUILDING CORNER. THE DISTANCE BETWEEN ADJACENT EDGES OF BRACED WALL PANELS SHALL BE NO GREATER THAN 20 FEET. SEGMENTS OF EXTERIOR WALLS GREATER THAN 8 FEET IN LENGTH SHALL HAVE A MINIMUM OF ONE BRACED WALL PANEL AND SEGMENTS 8 FEET OR LESS IN LENGTH SHALL BE PERMITTED TO HAVE NO BRACED WALL PANELS.
8. PANEL SIZES SHOWN MEET THE MINIMUM WIDTH OF FULL SHEATHED WALL SECTION REQUIRED AT THAT SPECIFIC LOCATION, BASED ON ADJACENT OPENING SIZE AND WALL HEIGHT. ANY MOVEMENT OF WINDOW OR DOOR OPENINGS DURING CONSTRUCTION SHALL MAINTAIN AT LEAST THE MINIMUM PANEL SIZES AND SPACING REQUIRED.



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WAVERLY - VER-6.1

3-STORY SLAB TOWNHOME

WALL BRACING PLANS

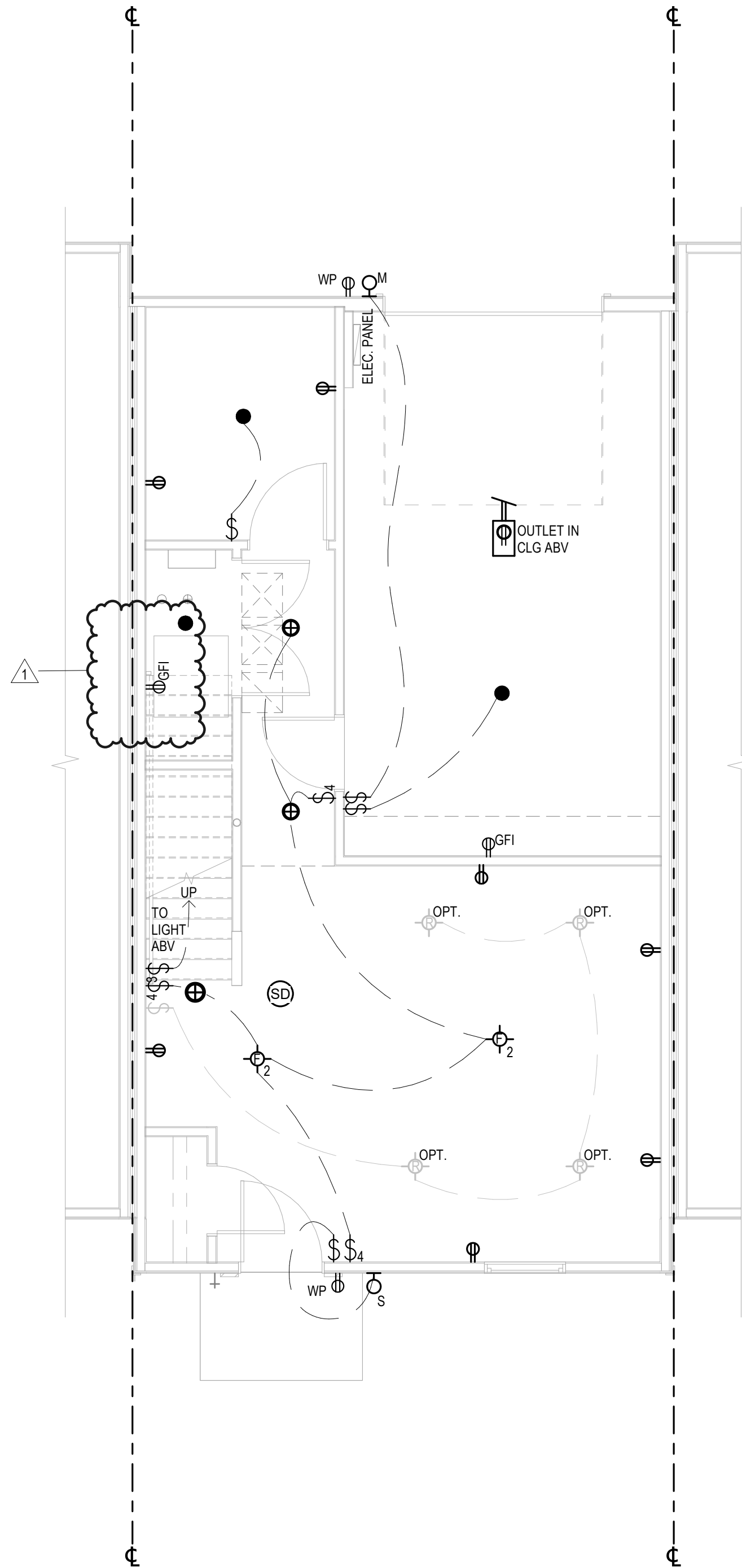
VIRGINIA

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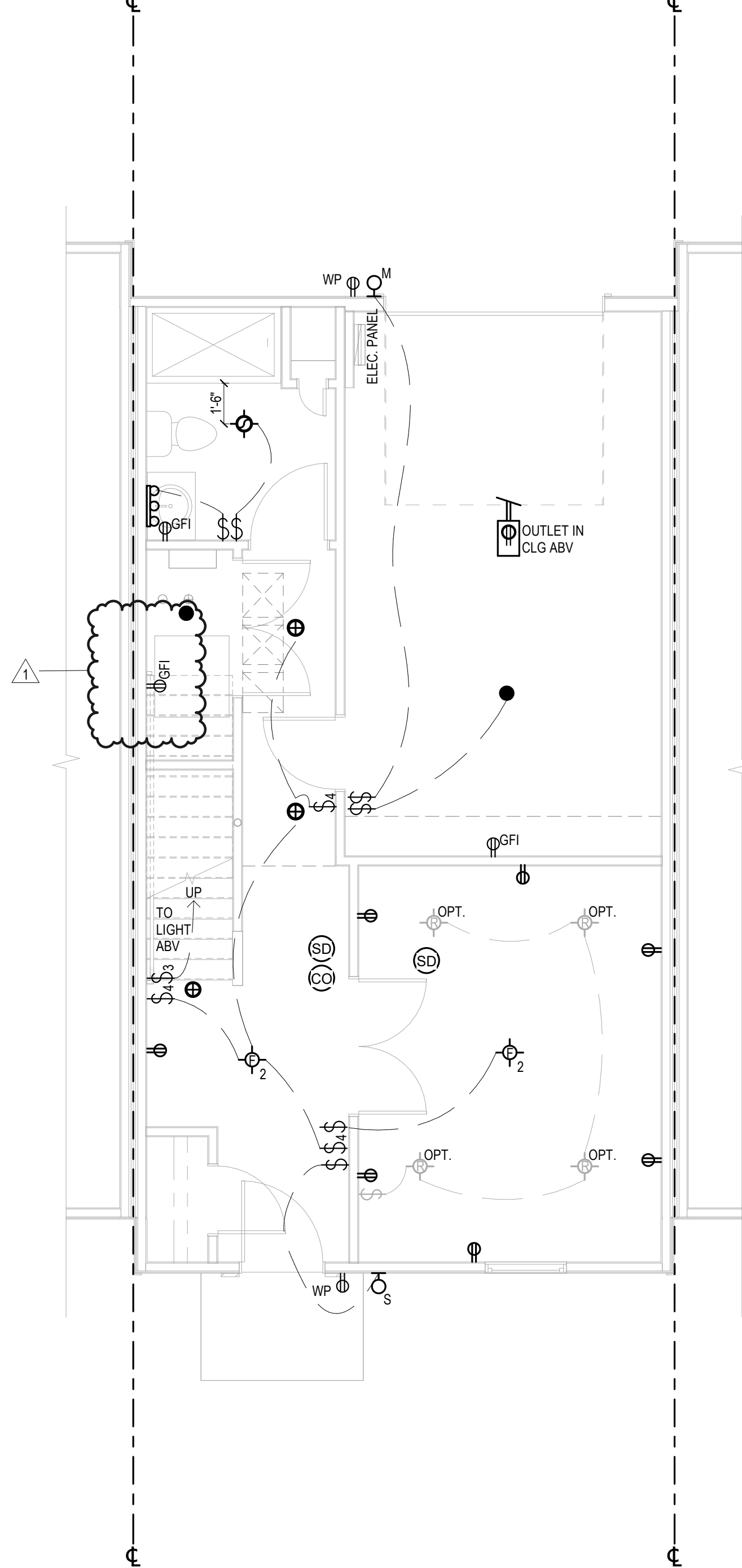
A4.1

PROJECT NO

23180023.01



**TYPICAL SCHEMATIC
LOWER LEVEL
LIGHTING/ELEC PLAN**
1
A5.0
1/4" = 1'-0"
ELEVATION 'A'
ELEVATIONS 'B', 'C', 'D', & 'E' SIMILAR



**TYPICAL SCHEMATIC
LOWER LEVEL PLAN OPT'S
LIGHTING/ELEC PLAN**
2
A5.0
1/4" = 1'-0"
ELEVATION 'A'
ELEVATIONS 'B', 'C', 'D', & 'E' SIMILAR

- ELECTRICAL LEGEND**
- ELECTRICAL PANEL
 - ELECTRICAL SERVICE METER
 - HANGING (PENDANT) TYPE FIXTURE
 - VAPOR PROOF CAN LIGHT
 - RECESSED CAN LIGHT FIXTURE
 - PUCK FIXTURE
 - FLUSH MOUNT FIXTURE - 2 BULB
 - FLUSH MOUNT FIXTURE - 3 BULB
 - SMALL EXTERIOR WALL MOUNTED LIGHT FIXTURE
 - MEDIUM EXTERIOR WALL MOUNTED LIGHT FIXTURE
 - VANITY LIGHT FIXTURE
 - KEYLESS FIXTURE
 - CEILING EXHAUST FAN
 - EXHAUST FAN/LIGHT COMBO
 - CEILING FAN NO LIGHT
 - GARAGE DOOR OPENER
 - RECEPTACLE (TYPICAL DUPLEX)
 - RECEPTACLE AT SPECIFIED HEIGHT IN INCHES
 - GROUND FAULT RECEPTACLE
 - SPLIT WIRED RECEPTACLE
 - WATER PROOF RECEPTACLE
 - DEDICATED 220 RECEPTACLE
 - FLOOR RECEPTACLE
 - SWITCH (TYPICAL)
 - THREE-WAY SWITCH
 - FOUR-WAY SWITCH
 - DIMMER SWITCH
 - WATER PROOF SWITCH
 - THERMOSTAT
 - SMOKE DETECTOR
 - CARBON MONOXIDE DETECTOR
 - JUNCTION BOX
 - CABLE/SATELLITE TELEVISION
 - TELEPHONE/DATA OUTLET

- GENERAL LIGHTING NOTES:**
- LIGHTING AND ELECTRICAL INFORMATION SHOWN IS SCHEMATIC ONLY. GENERAL CONTRACTOR AND COORDINATE EXACT/FINAL LOCATIONS, ARRANGEMENTS, AND REQUIREMENTS IN FIELD.
 - 90% OF PERMANENTLY INSTALLED LIGHT FIXTURES SHALL BE HIGH EFFICIENT LAMPS. GENERAL CONTRACTOR SHALL COORDINATE IN FIELD.
 - SWITCH LOCATIONS FOR EXTERIOR FLOOD LAMPS SHALL BE VERIFIED WITH OWNER.
 - SEE GENERAL LIGHTING/ELECTRICAL NOTES FOR ADDITIONAL LIGHTING INFORMATION.



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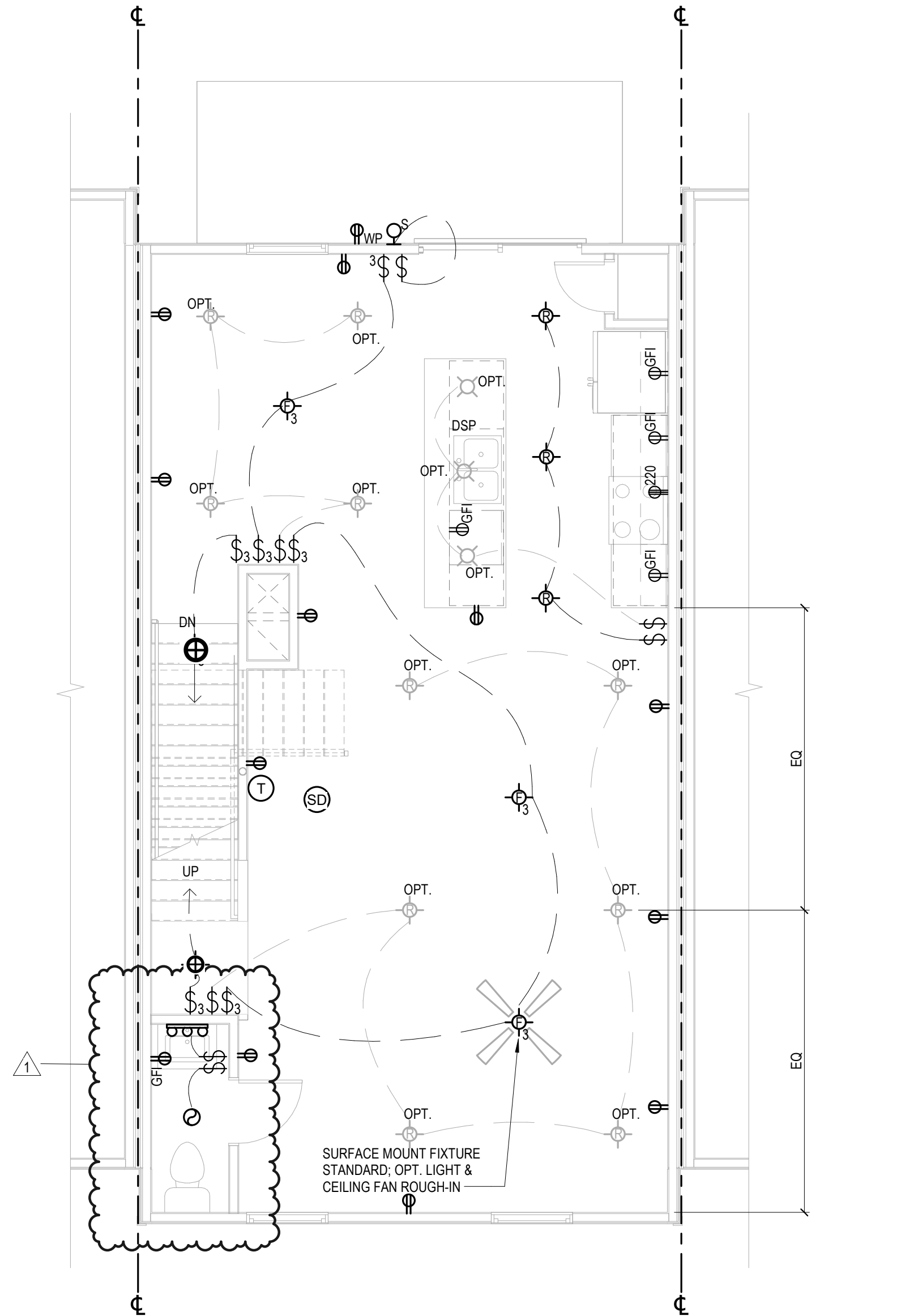


WAVENLY - VER-6.1
3-STORY SLAB TOWNHOME
SCHEMATIC LIGHTING/ELEC PLANS

VIRGINIA

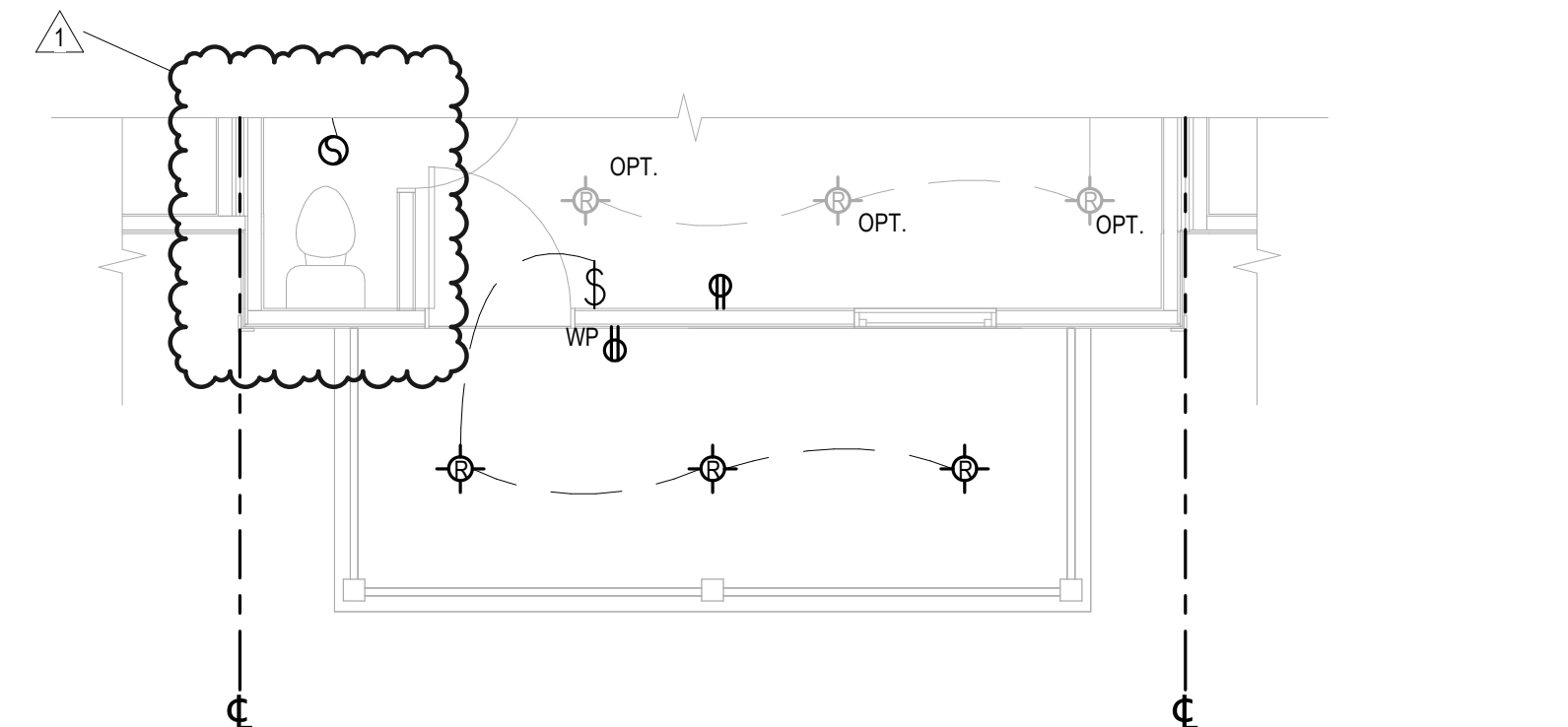
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CHECKED BY **ARW**
DATE **11/06/2022**
SCALE **As indicated**
REVISIONS
1 09/20/2022 MISC UPDATES

A5.0
PROJECT NO 23180023.01



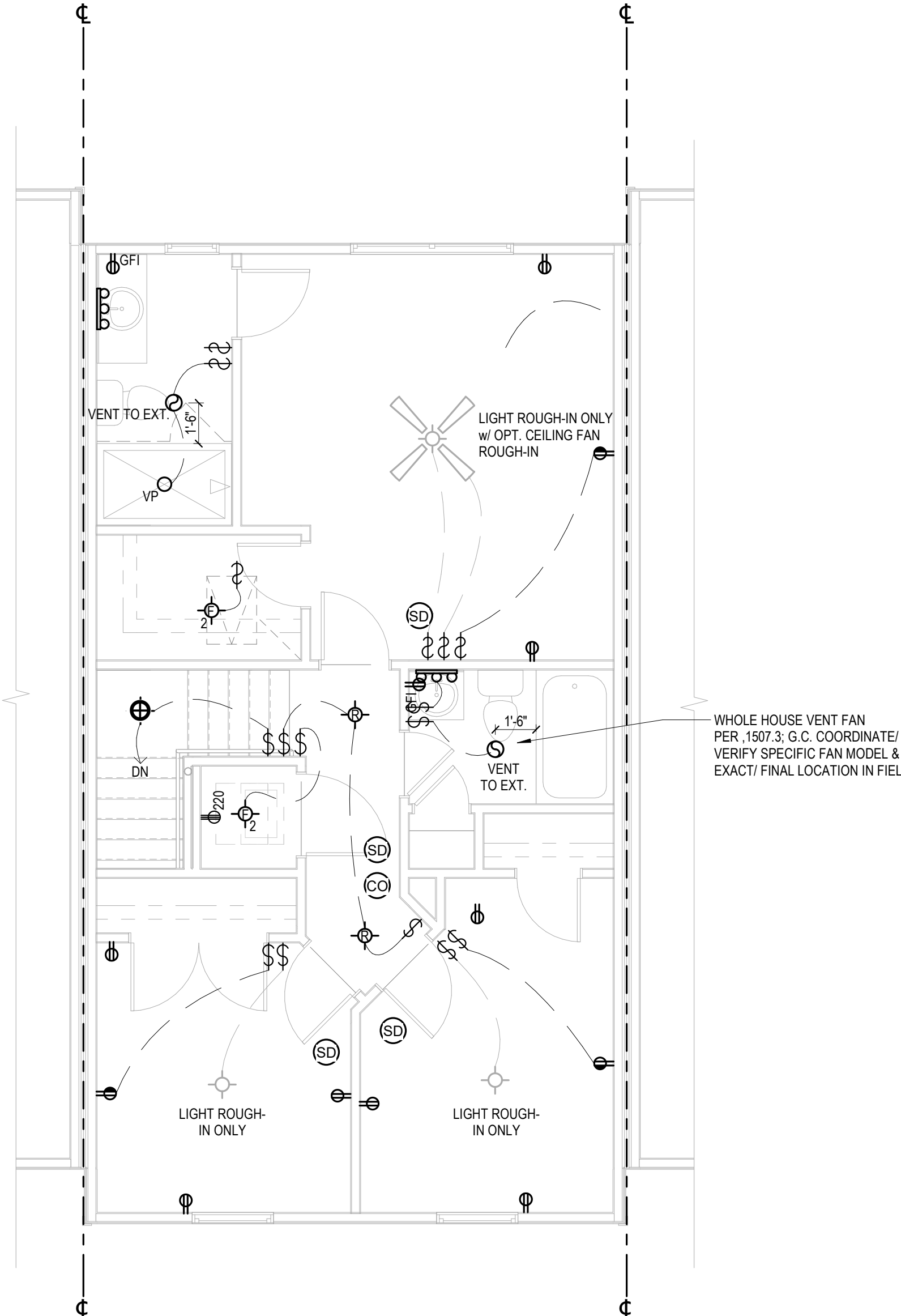
**TYPICAL SCHEMATIC
MAIN LEVEL
LIGHTING/ELEC PLAN**

1
A5.1
1/4" = 1'-0"
ELEVATION 'A'
ELEVATIONS 'B', 'C', 'D', & 'E' SIMILAR



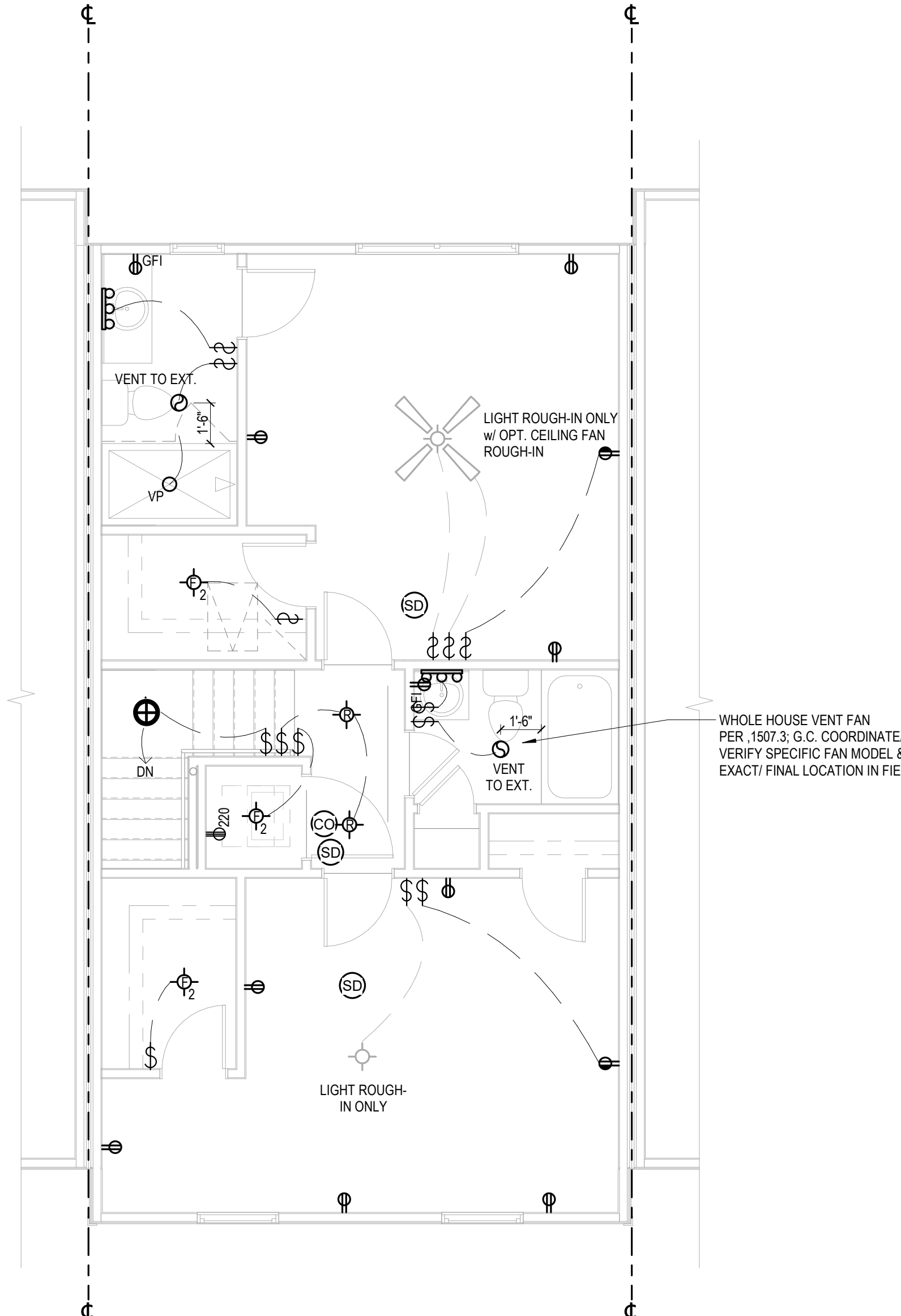
**PARTIAL SCHEM.
MAIN LEVEL
LIGHTING/ELEC PLAN**

4
A5.1
1/4" = 1'-0"
ELEVATION 'D'



**TYPICAL SCHEMATIC
3-BEDROOM OPTION
UPPER LEVEL LIGHTING/ELEC PLAN**

2
A5.1
1/4" = 1'-0"
ELEVATION 'A'
ELEVATIONS 'B', 'C', 'D', & 'E' SIMILAR



**TYPICAL SCHEMATIC DOUBLE
OWNER BEDROOM OPTION
UPPER LEVEL LIGHTING/ELEC PLAN**

3
A5.1
1/4" = 1'-0"
ELEVATION 'A'
ELEVATIONS 'B', 'C', 'D', & 'E' SIMILAR

ELECTRICAL LEGEND	
	ELECTRICAL PANEL
	ELECTRICAL SERVICE METER
	HANGING (PENDANT) TYPE FIXTURE
	VAPOR PROOF CAN LIGHT
	RECESSED CAN LIGHT FIXTURE
	PUCK FIXTURE
	FLUSH MOUNT FIXTURE - 2 BULB
	FLUSH MOUNT FIXTURE - 3 BULB
	SMALL EXTERIOR WALL MOUNTED LIGHT FIXTURE
	MEDIUM EXTERIOR WALL MOUNTED LIGHT FIXTURE
	VANITY LIGHT FIXTURE
	KEYLESS FIXTURE
	CEILING EXHAUST FAN
	EXHAUST FAN/LIGHT COMBO
	CEILING FAN NO LIGHT
	GARAGE DOOR OPENER
	RECEPTACLE (TYPICAL DUPLEX)
	RECEPTACLE AT SPECIFIED HEIGHT IN INCHES
	GROUND FAULT RECEPTACLE
	SPLIT WIRED RECEPTACLE
	WATER PROOF RECEPTACLE
	DEDICATED 220 RECEPTACLE
	FLOOR RECEPTACLE
	SWITCH (TYPICAL)
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	DIMMER SWITCH
	WATER PROOF SWITCH
	THERMOSTAT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	JUNCTION BOX
	CABLE/SATELLITE TELEVISION
	TELEPHONE/DATA OUTLET

- GENERAL LIGHTING NOTES:**
1. LIGHTING AND ELECTRICAL INFORMATION SHOWN IS SCHEMATIC ONLY. GENERAL CONTRACTOR AND COORDINATE EXACT/FINAL LOCATIONS, ARRANGEMENTS, AND REQUIREMENTS IN FIELD.
 2. 90% OF PERMANENTLY INSTALLED LIGHT FIXTURES SHALL BE HIGH EFFICIENT LAMPS. GENERAL CONTRACTOR SHALL COORDINATE IN FIELD.
 3. SWITCH LOCATIONS FOR EXTERIOR FLOOD LAMPS SHALL BE VERIFIED WITH OWNER.
 4. SEE GENERAL LIGHTING/ELECTRICAL NOTES FOR ADDITIONAL LIGHTING INFORMATION.



**BALZER
& ASSOCIATES**
PLANNERS / ARCHITECTS
ENGINEERS / SURVEYORS

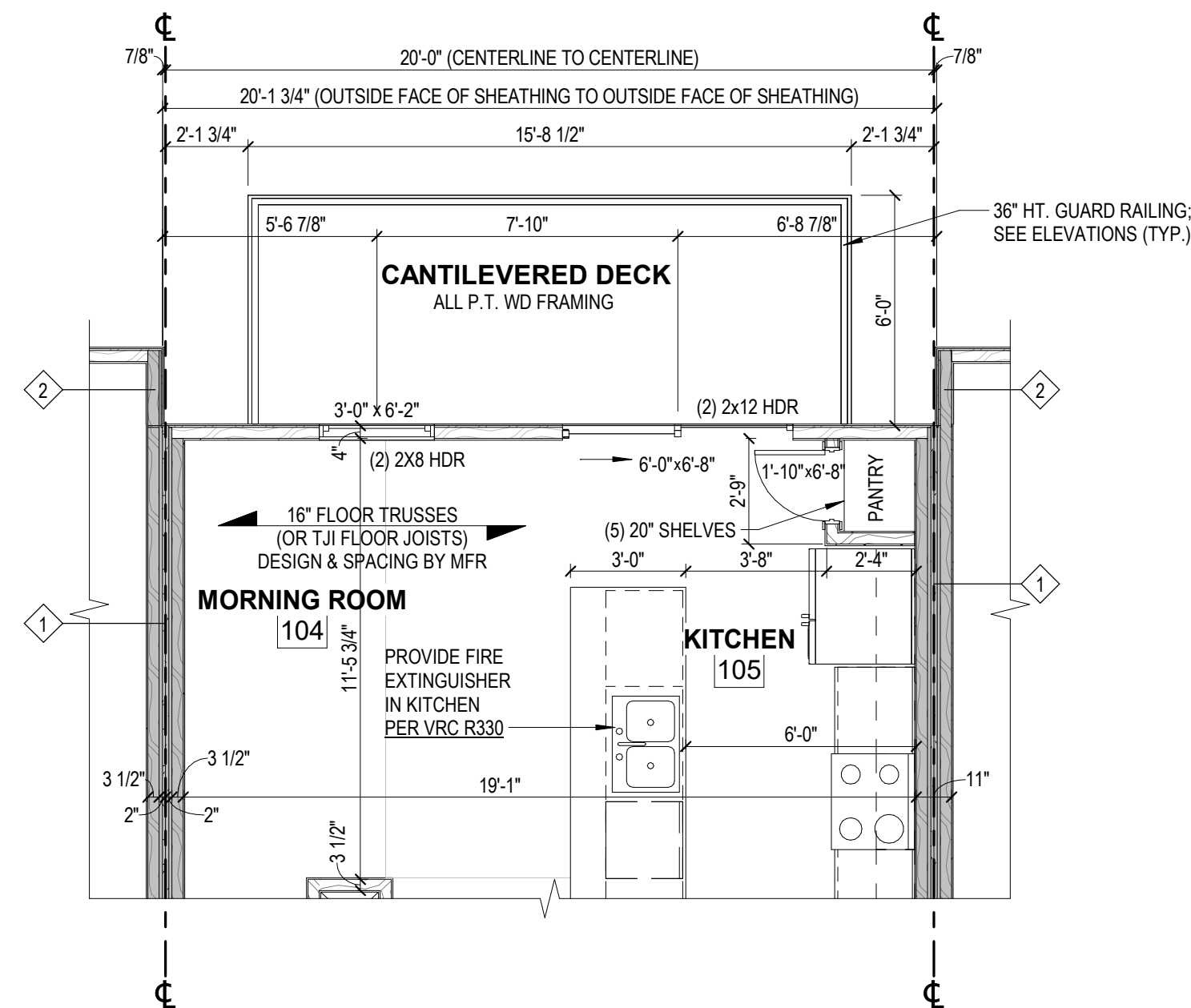
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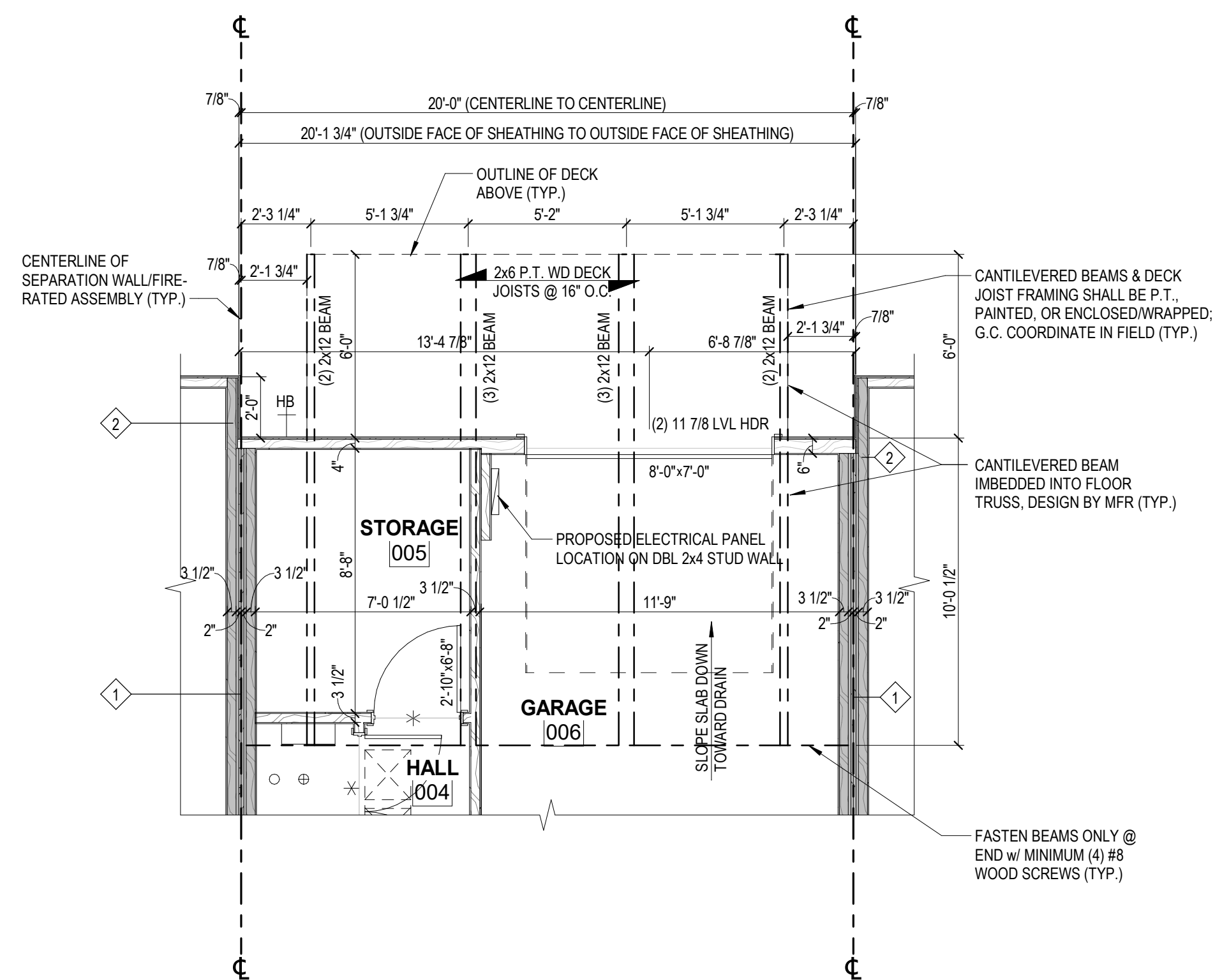
WAVENLY - VER-6.1
3-STORY SLAB TOWNHOME
SCHEMATIC LIGHTING/ELEC PLANS

DRAWN BY **ARW**
DESIGNED BY **ARW**
CHECKED BY **ARW**
DATE **11/06/2022**
SCALE **As indicated**
REVISIONS
1 09/20/2022 MISC UPDATES

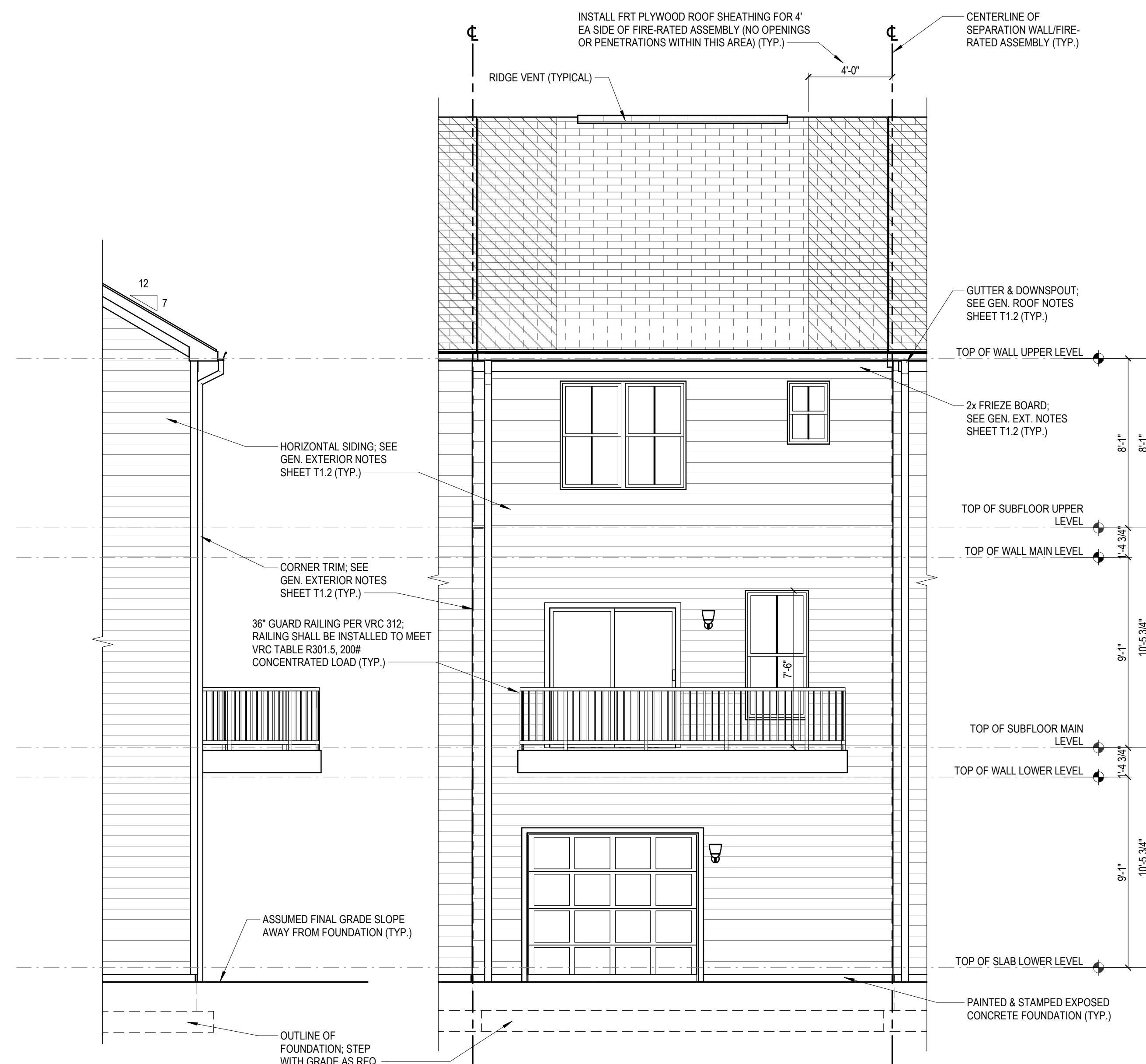
A5.1
PROJECT NO 23180023.01



2 **MAIN LEVEL FLOOR PLAN**
A6.1 1/4" = 1'-0"



LOWER LEVEL FLOOR PLAN



**TYPICAL
SIDE ELEVATION**

TYPICAL REAR ELEVATION

